



P.O. Box 1026
Crossville, TN 38557
Ph. 931-484-7541
www.uplanddesigngroup.com

Addendum No. 1, December 6, 2024

Re: Johnson Hall Abatement & Demolition – PKG 2
Johnson Hall Renovation & Foster Demolition
SBC No 364/011-04-2022CM

From: Upland Design Group, Inc.
P.O. Box 1026 (38557)
362 Industrial Blvd.
Crossville, TN 38555
Telephone (931) 484 7541
Fax (931) 484 2351



To: Prospective Bidders

This Addendum forms a part of the Contract Documents and modifies the original Bidding Documents dated November 20, 2024, as noted below. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject Bidder to disqualification.

This Addendum consists of 4 pages and 9 pages of attachments (13 pages total).

Clarifications

- 1) Adjust the construction fencing for package 2 by the existing loading dock at the Roaden University Center to maintain a turn around space for delivery trucks.
- 2) Change any references of Architect to read "Designer".
- 3) Remove any reference on the Legends and Key Notes that say to coordinate with renovation drawings. The renovation drawings of package 3 will not be released before package 2 bids. For this package, the prepping of the walls and floor for package 3 will include providing clean straight cuts between existing to remain and demolished wall intersections and providing a surface ready for new finishes when existing finishes are removed. Jagged and rough surfaces need to be smoothed when removal of adjacent walls or existing finishes create rough faces on existing surfaces to remain.
- 4) Mechanical, plumbing, fire protection and electrical drawings have been condensed onto combined MPE sheets and renumbered to be immediately after the architectural drawings. To avoid confusion, the references to Mechanical, Plumbing, Fire Protection and Electrical sheets have been replaced with references to sheets D4.1 through D4.4.
- 5) The Owner has gone through and marked some electrical and mechanical equipment that is still energized / in use that they want after removal from the building. Coordinate with Owner's representative for more information.
- 6) Additional site and demolition work will occur in package 3. However, the existing trees within the construction fence area may be removed in this package if demolition of the exterior windows warrants. Coordinate with CMGC and Owner's representative prior to cutting down any trees.

Approved Substitutions

- 7) <None>

Changes to Specifications:

8) <None>

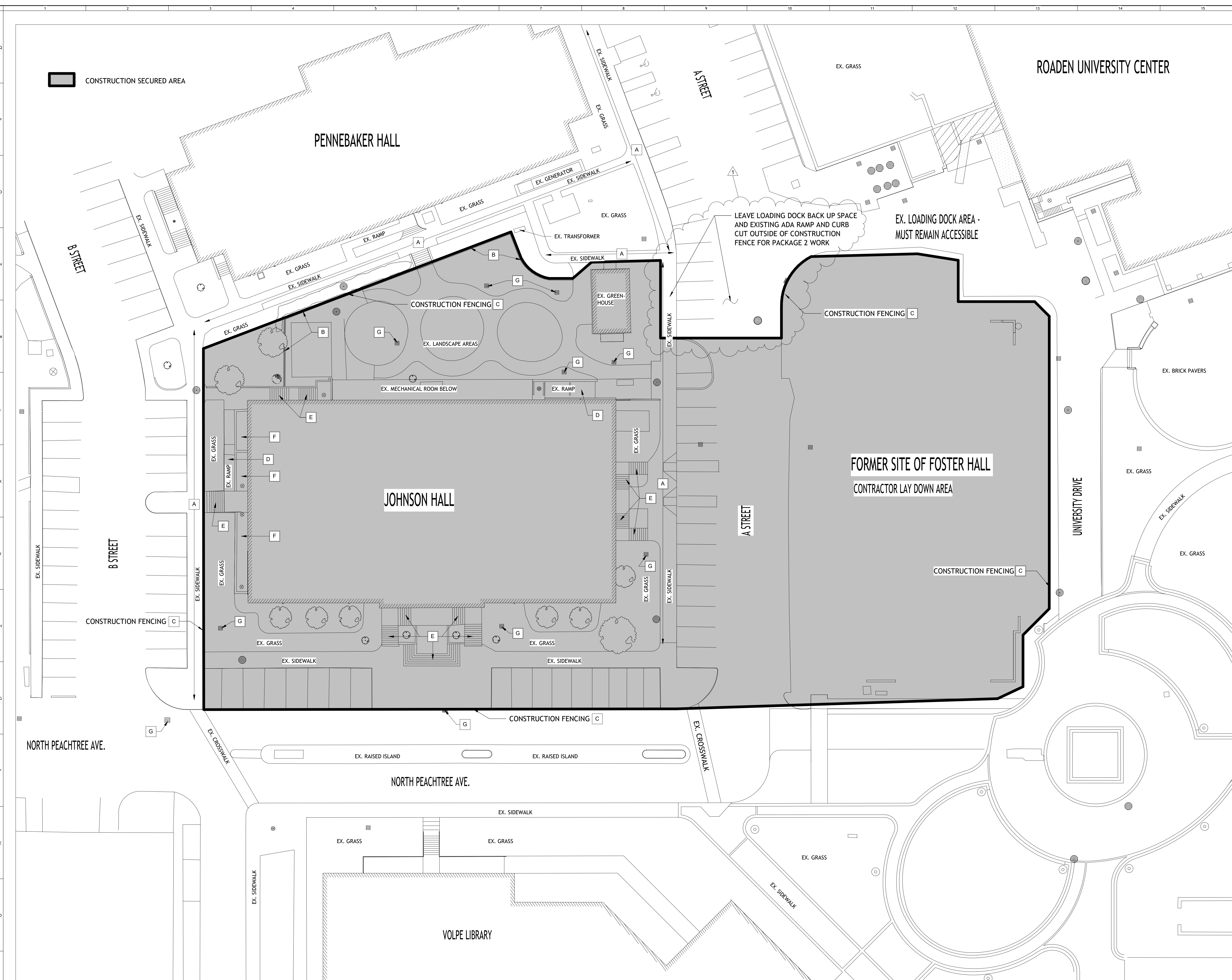
Changes to Drawings:

- 9) Refer to sheet D1.0 Overall Demolition Site. Modify construction fence on A-street to maintain a backup space for delivery trucks for Roaden University Center per the revised attached D1.0 sheet with revision mark 1 dated 12-6-24.
- 10) Refer to sheet D1.4 Demolition Plan – Fourth Floor Pkg 2. Doors into Case/Seminar Ex401, Storage Ex401C, Office Ex402, Women Ex433, and Men Ex434 are existing and are the doors are to be demolished. Frames for those doors to remain.
- 11) Refer to sheet D1.2 Demolition Plan – Second Floor PKG 2. Add keynote PP to plan south window in Classroom EX208 and plan north window in Classroom EX220.
- 12) Refer to sheet D1.3 Demolition Plan – Third Floor PKG 2. Add keynote PP to windows in Office EX335 and middle window in Classroom EX310.
- 13) Refer to sheet D1.4 Demolition Plan – Fourth Floor PKG 2. Change keynote “P” in Case / Seminar to keynote ‘U’
- 14) Refer to sheets D1.0, D1.1, D1.2, D1.3, D1.4, D1.5, D2.1, D2.2, and D3.1 Demolition General Notes – Package 2 legend – note 2. Change wording of note to read “RESERVED”.
- 15) Refer to sheets D1.0, D1.1, D1.2, D1.3, D1.4, D1.5, D2.1, D2.2, and D3.1 Demolition General Notes – Package 2 legend - note 6. Change note to read “Contractor to remove any remaining existing toilet dispensers, sanitary napkin disposal, paper towel dispensers and soap dispensers. Remove any remaining existing toilet partitions.”
- 16) Refer to sheets D1.0, D1.1, D1.2, D1.3, D1.4, D1.5, D2.1, D2.2, and D3.1 Demolition General Notes – Package 2 legend – note 7. Add “Contractor to dispose of any unwanted tackboards, markerboards, or chalkboards.”
- 17) Refer to sheets D1.0, D1.1, D1.2, D1.3, D1.4, D1.5, D2.1, D2.2, and D3.1 Demolition General Notes – Package 2 legend – note 8. Change wording of note to read “Remove existing floor finishes throughout the building unless noted to remain. Coordinate with abatement specifications and demolition floor plans.”
- 18) Refer to sheets D1.0, D1.1, D1.2, D1.3, D1.4, D1.5, D2.1, D2.2, and D3.1 Demolition General Notes – Package 2 legend – note 10. Change wording of note to read “Remove existing applied sound insulation throughout the building’s existing structural concrete decks and beams. Coordinate with existing conditions and hazardous material reports. Removal of existing applied sound insulation should leave the existing exposed surfaces ready to be prepped to receive new finishes.
- 19) Refer to sheets D1.0, D1.1, D1.2, D1.3, D1.4, D1.5, D2.1, D2.2, and D3.1 Demolition General Notes – Package 2 legend – add note 11 reading “Owner has marked some breaker, other electrical equipment, and elevator equipment that they wanted salvaged and turned over to them. Coordinate with Owner’s representative for more information.”
- 20) Refer to sheets D1.0, D1.1, D1.2, D1.3, D1.4, D1.5, D2.1, D2.2, and D3.1 Demolition General Notes – Package 2 legend – add note 12 reading “Remove trees within the construction fenced area as required for demolition of the windows and other demolition activities associated with Package 2.
- 21) Refer to sheets D1.1, D1.2, D1.3, D1.4, and D1.5, Demolition Wall Legend – Replace legend with one on attached sheets with revision mark 1 dated 12-6-24.
- 22) Refer to sheets D1.1, D1.2, D1.3, D1.4 and D1.5, Demolition Key Notes – Floor Plan – Note B. Change wording of note to read “Remove existing metal framed window & associated glazing, hardware, sealant and related jamb trim. Prep rough openings for new window. Coordinate with abatement specifications and existing conditions for any required abatement.”

- 23) Refer to sheets D1.1, D1.2, D1.3, D1.4 and D1.5, Demolition Key Notes – Floor Plan – Note G. Change wording of note to read “Remove existing concrete and metal pan stair and all related handrails, guardrails, and structural attachments.”
- 24) Refer to sheets D1.1, D1.2, D1.3, D1.4 and D1.5, Demolition Key Notes – Floor Plan – Note H. Change wording of note to read “Remove existing hydraulic elevator in its entirety. Remove all related equipment and electrical / hydraulic lines back to main branch. Elevator pit structure to remain. Coordinate with abatement specifications for any required abatement work. Coordinate removal of equipment with Owner’s representative for salvage of hydraulic controls.”
- 25) Refer to sheets D1.1, D1.2, D1.3, D1.4 and D1.5, Demolition Key Notes – Floor Plan – Note I. Change reference to Mechanical, Plumbing and Electrical Drawings to read “sheets D4.1 through D4.4”.
- 26) Refer to sheets D1.1, D1.2, D1.3, D1.4 and D1.5, Demolition Key Notes – Floor Plan – Note J. Change reference to Mechanical, Plumbing and Electrical Drawings to read “sheets D4.1 through D4.4”.
- 27) Refer to sheets D1.1, D1.2, D1.3, D1.4 and D1.5, Demolition Key Notes – Floor Plan – Note K. Change reference to Mechanical, Plumbing and Electrical Drawings to read “sheets D4.1 through D4.4”
- 28) Refer to sheets D1.1, D1.2, D1.3, D1.4 and D1.5, Demolition Key Notes – Floor Plan – Note L. Change reference to Electrical Drawings to read “sheets D4.1 through D4.4”. Add the following “The Owner has tagged some of the existing equipment to be salvaged and turned over to Owner after demolition. Coordinate with Owners representative for more information.”
- 29) Refer to sheets D1.1, D1.2, D1.3, D1.4 and D1.5, Demolition Key Notes – Floor Plan – Note N. Change reference to Plumbing Drawings to read “sheets D4.1 through D4.4”
- 30) Refer to sheets D1.1, D1.2, D1.3, D1.4 and D1.5, Demolition Key Notes – Floor Plan – Note O. Remove reference to structural drawings.
- 31) Refer to sheets D1.1, D1.2, D1.3, D1.4 and D1.5, Demolition Key Notes – Floor Plan – Note P. Change note to read “Existing tiered concrete subfloor, ramp, risers, and stairs to remain. Remove all applied finishes, trims and all associated mastic adhesive from surfaces. Remove existing fixed tables. Coordinate with abatement specifications for any required abatement.”
- 32) Refer to sheets D1.1, D1.2, D1.3, D1.4 and D1.5, Demolition Key Notes – Floor Plan – Note Q. Change note to read “Remove existing tiered wood risers and their associated structure and finishes.”
- 33) Refer to sheets D1.1, D1.2, D1.3, D1.4 and D1.5, Demolition Key Notes – Floor Plan – Note R. Remove “Prep floor, wall and handrails to receive new finish.” from note.
- 34) Refer to sheets D1.1, D1.2, D1.3, D1.4 and D1.5, Demolition Key Notes – Floor Plan – Note T. Change note to read “Existing precast stone window trim to remain at jamb and head of existing windows. Select demolition at window panel to allow for door in next package. Field verify existing conditions and sizes.”
- 35) Refer to sheets D1.1, D1.2, D1.3, D1.4 and D1.5, Demolition Key Notes – Floor Plan – Note U. Change note to read “Existing tiered wood risers to remain. Remove all applied finishes, trims and associated mastic adhesives from surfaces. Remove existing fixed desks and dispose. Remove the top riser at rear of Case / Seminar EX401. Coordinate with sheets D4.1 through D4.4 for any electrical notes.
- 36) Refer to sheets D1.1, D1.2, D1.3, D1.4 and D1.5, Demolition Key Notes – Floor Plan – Note Y. Change reference to Mechanical, Plumbing and Electrical Drawings to read “sheets D4.1 through D4.4”
- 37) Refer to sheets D1.1, D1.2, D1.3, D1.4 and D1.5, Demolition Key Notes – Floor Plan – Note Z. Change reference to Mechanical, Plumbing and Electrical Drawings to read “sheets D4.1 through D4.4”

- 38) Refer to sheets D1.1, D1.2, D1.3, D1.4 and D1.5, Demolition Key Notes – Floor Plan – Note AA. Change note to read “Demo portion of floor for new stair / shaft / utility penetration.”
- 39) Refer to sheets D1.1, D1.2, D1.3, D1.4 and D1.5, Demolition Key Notes – Floor Plan – Note EE. Change note to read “Remove existing grille in wall.”
- 40) Refer to sheets D1.1, D1.2, D1.3, D1.4 and D1.5, Demolition Key Notes – Floor Plan – Note FF. Change reference to read “Salvage existing fire extinguisher cabinet for re-use. Store on site until package 3 is released.”
- 41) Refer to sheets D1.1, D1.2, D1.3, D1.4 and D1.5, Demolition Key Notes – Floor Plan – Note HH. Change note to read “Coordinate demolition of walls with demolition of existing concrete mezzanine above.”
- 42) Refer to sheets D1.1, D1.2, D1.3, D1.4 and D1.5, Demolition Key Notes – Floor Plan – Note II. Remove reference to preparing surfaces for new work and coordination with renovation drawings.
- 43) Refer to sheets D1.1, D1.2, D1.3, D1.4 and D1.5, Demolition Key Notes – Floor Plan – Note MM. Change reference to Plumbing and Fire Protection Drawings to read “sheets D4.1 through D4.4”
- 44) Refer to sheets D1.1, D1.2, D1.3, D1.4 and D1.5, Demolition Key Notes – Floor Plan – Note OO. Remove reference to structural and renovation drawings.
- 45) Refer to sheets D1.1, D1.2, D1.3, D1.4 and D1.5, Demolition Key Notes – Floor Plan. Add note PP that reads “remove and salvage stone panels at window opening for installation of construction scaffolding. Remove block behind stone panels as directed by the CMGC.”
- 46) Refer to sheets D2.1 and D2.2, Demolition Key Notes – Elevations – Package 2. Add note H that reads “Remove and salvage stone panels at window opening for installation of construction scaffolding. Remove block behind stone panels as directed by the CMGC.”
- 47) Refer to sheets D2.1 and D2.2, Demolition Key Notes – Elevations – Package 2 – Note D. remove “Coordinate demolition with proposed drawings.”
- 48) Refer to sheets D2.1 and D2.2, Demolition Key Notes – Elevations – Package 2 – Note F. Remove “Coordinate with structural and renovation drawings.”
- 49) Refer to sheet D3.1 Building Sections – Demolition PKG 2 – Demolition Section Legend. Replace the legend with one on attached D3.1 with revision mark 1 dated 12-6-24.
- 50) Refer to sheet D4.1 1st Floor MPE Demolition Plan – Electrical Numbered Note 2. Change the last sentence to read “Coordinate with existing conditions and Owner.”

END OF ADDENDUM



- ### DEMOLITION GENERAL NOTES - PACKAGE 2
1. FIELD VERIFY EXISTING CONDITIONS, MEASUREMENTS, AND LAYOUTS. CONTACT DESIGNER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
 2. RESERVED
 3. COORDINATE WITH ABATEMENT SPECIFICATIONS FOR ADDITIONAL DEMOLITION INFORMATION AND SCOPE.
 4. REMOVE EXISTING CEILING TILE AND GRIDS THROUGHOUT THE BUILDING. COORDINATE WITH ABATEMENT SPECIFICATIONS AND FIELD VERIFY LOCATIONS, CONDITIONS, AND HEIGHTS.
 5. REMOVE REMAINING EXISTING CLOCKS THROUGHOUT BUILDING AND TURN OVER TO OWNER. IF OWNER DOES NOT WANT EXISTING CLOCKS, CONTRACTOR TO DISPOSE OF THEM PROPERLY.
 6. CONTRACTOR TO REMOVE ANY REMAINING EXISTING TOILET DISPENSERS, SANITARY NAPKIN DISPOSAL, PAPER TOWEL DISPENSERS AND SOAP DISPENSERS. REMOVE ANY REMAINING EXISTING TOILET PARTITIONS.
 7. REMOVE EXISTING TACK BOARD, MARKER BOARDS, OR CHALKBOARDS. SALVAGE AND TURN OVER TO OWNER FOR RE-USE AND/OR STORAGE. CONTRACTOR TO DISPOSE OF ANY UNWANTED TACKBOARDS, MARKERBOARDS, OR CHALKBOARDS.
 8. REMOVE EXISTING FLOOR FINISHES THROUGHOUT THE BUILDING UNLESS NOTED TO REMAIN. COORDINATE WITH ABATEMENT SPECIFICATIONS AND DEMOLITION FLOOR PLANS.
 9. REMOVE EXISTING DOOR HARDWARE AND TURN OVER TO OWNER. IF OWNER DOES NOT WANT EXISTING HARDWARE, CONTRACTOR TO DISPOSE OF THEM PROPERLY.
 10. REMOVE EXISTING APPLIED SOUND INSULATION THROUGHOUT THE BUILDING'S EXISTING STRUCTURAL CONCRETE DECKS AND BEAMS. COORDINATE WITH EXISTING CONDITIONS AND HAZARDOUS MATERIAL REPORTS. REMOVAL OF EXISTING APPLIED SOUND INSULATION SHOULD LEAVE THE EXISTING EXPOSED SURFACE READY TO BE PREPARED TO RECEIVE NEW FINISHES.
 11. OWNER HAS MARKED SOME BREAKER, OTHER ELECTRICAL EQUIPMENT, AND ELEVATOR EQUIPMENT THEY WANT SALVAGED AND TURNED OVER TO THEM. COORDINATE WITH OWNER'S REPRESENTATIVE FOR MORE INFORMATION.
 12. REMOVE TREES WITHIN THE CONSTRUCTION FENCED AREA AS REQUIRED FOR DEMOLITION OF THE WINDOWS AND OTHER DEMOLITION ACTIVITIES ASSOCIATED WITH PACKAGE 2.

- ### DEMOLITION KEY NOTES - SITE - PACKAGE 2
- A. EXISTING CURB AND SIDEWALK TO REMAIN. PROTECT DURING DEMOLITION AND CONSTRUCTION.
 - B. EXISTING RETAINING WALL TO REMAIN. PROTECT DURING DEMOLITION AND CONSTRUCTION.
 - C. COORDINATE PLACEMENT OF CONSTRUCTION FENCING WITH EXISTING SITE ELEMENTS TO REMAIN.
 - D. EXISTING RAMP AND RAILINGS TO REMAIN. PROTECT RAMPS AND ASSOCIATED DRAINS DURING DEMOLITION AND CONSTRUCTION.
 - E. EXISTING STAIR AND RAILINGS TO REMAIN. PROTECT STAIRS AND ASSOCIATED DRAINS DURING DEMOLITION AND CONSTRUCTION.
 - F. EXISTING AREAWAY TO REMAIN. PROTECT AREAWAY AND ASSOCIATED DRAINS DURING DEMOLITION AND CONSTRUCTION.
 - G. EXISTING CATCH BASIN TO REMAIN. PROTECT PIPING FROM DEBRIS.

PACKAGE 2 - SITE DEMOLITION PLAN
 1" = 20'-0"
 PLAN NORTH TRUE NORTH

COMMUNITY TECTONICS ARCHITECTS
 Knoxville, TN 37919
 760 Casson Road
 Ph: (865) 537-0900
 www.communitytectonics.com

Upland Design Group
 Cookeville, TN 38507
 P.O. Box 1026
 Ph: (615) 942-7411
 www.uplanddesigngroup.com

W&O Construction
 Livingston, TN 38570
 150 Construction Drive
 Ph: (615) 421-1000
 www.wco.com

PROJECT: JOHNSON HALL ABATEMENT & DEMOLITION - PKG 2
 LOCATION: COOKEVILLE, TN
 JOHNSON HALL RENOVATION & FOSTER DEMOLITION
 SBC No 364/011-04-2022CM
 OWNER: TENNESSEE TECH. UNIVERSITY



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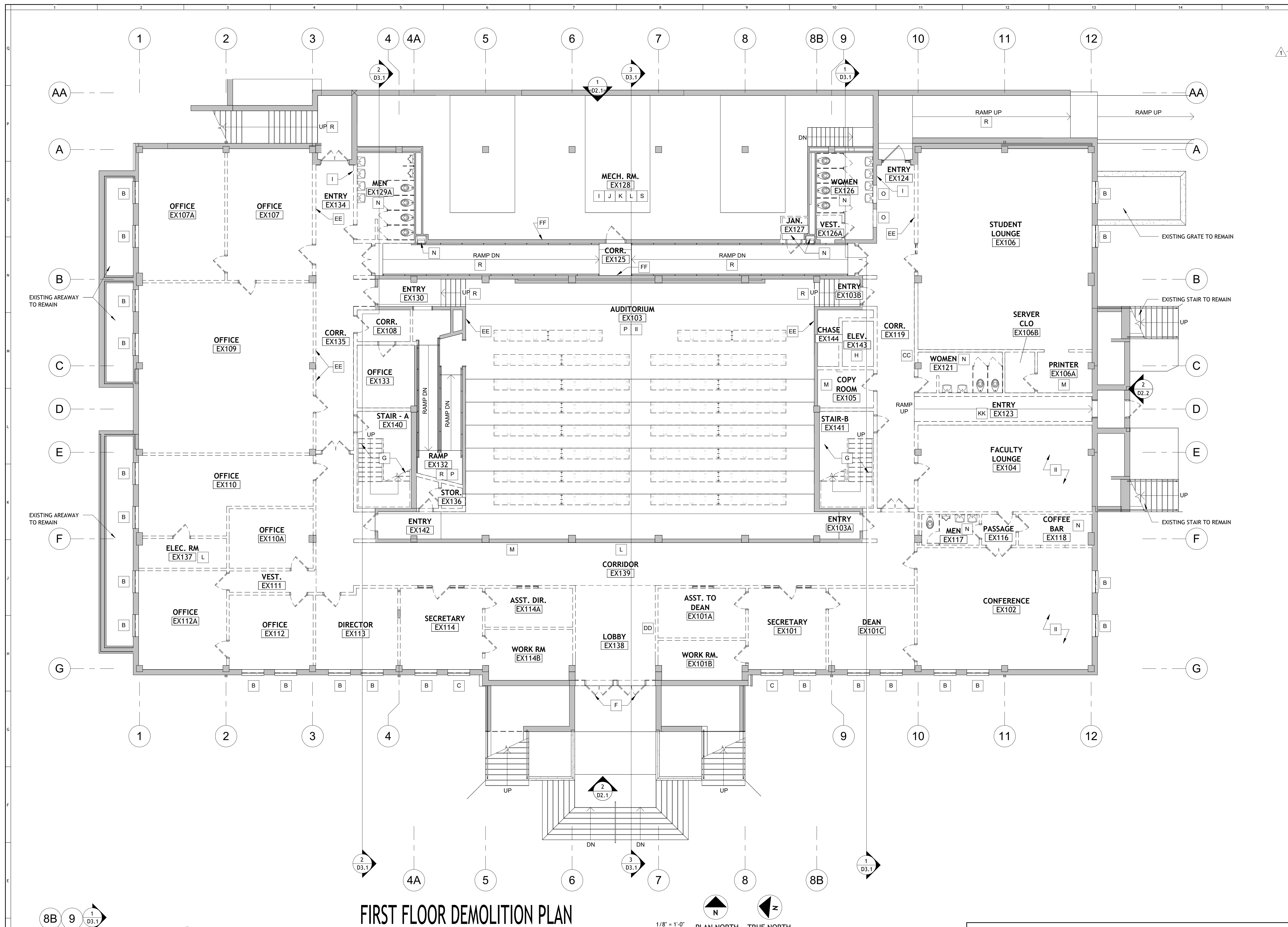
NO.	DESCRIPTION	DATE
1	Addendum 1 - PKG 2	12-06-24

JOB NO. 22025

ISSUE DATE 11-20-24

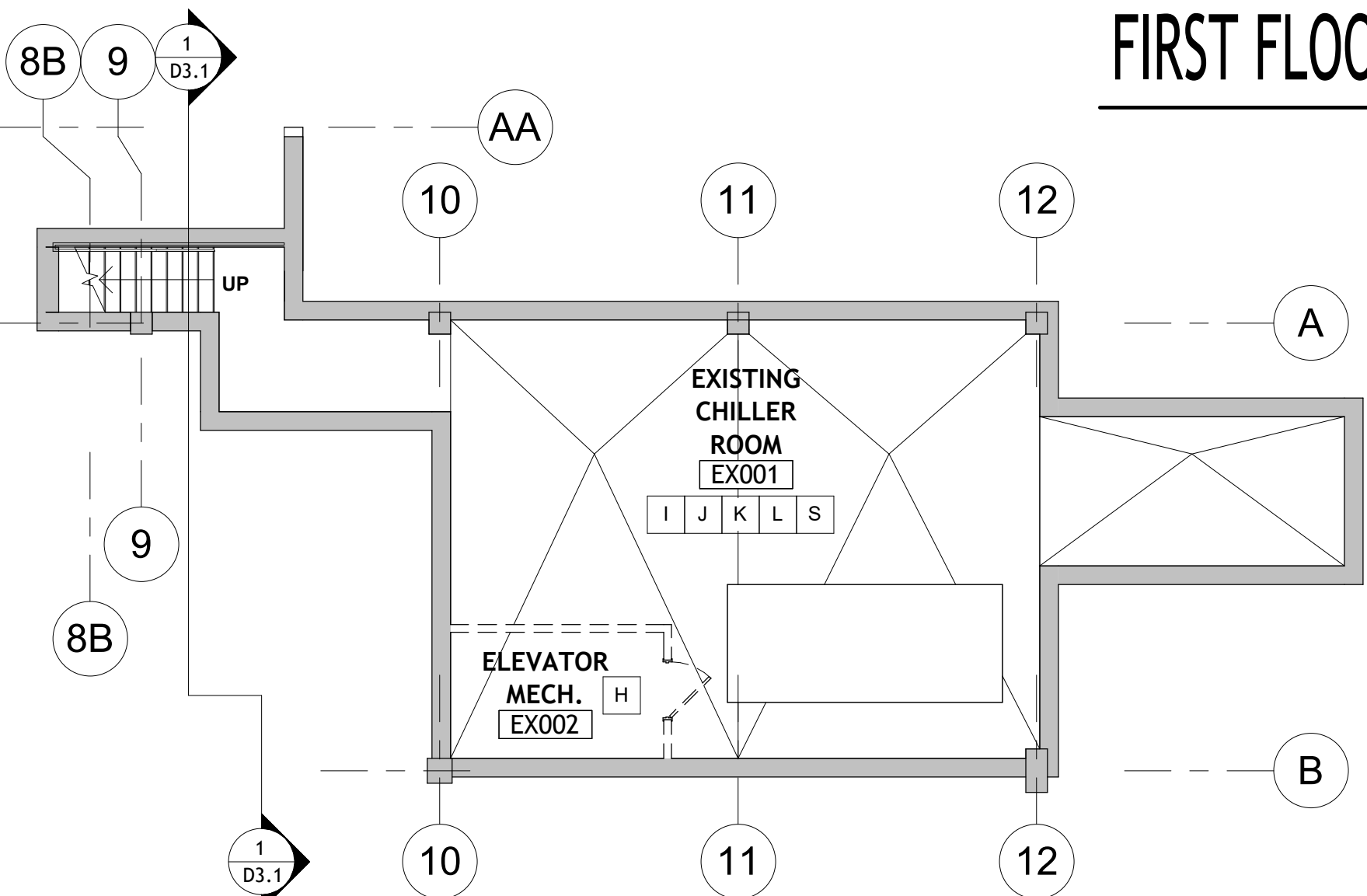
SHEET TITLE OVERALL DEMOLITION SITE PKG 2

DRAWN CWD
 REVIEW KAC
 D1.0



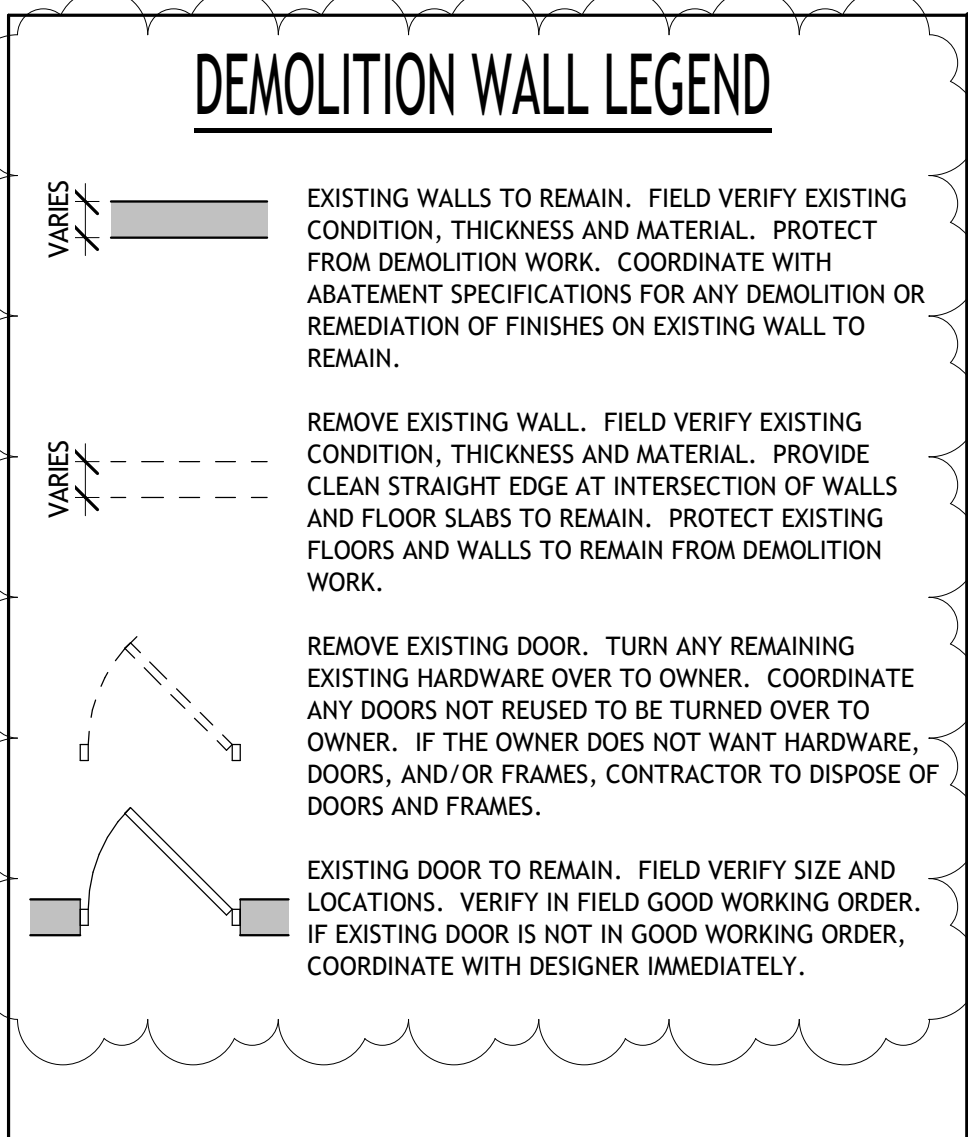
FIRST FLOOR DEMOLITION PLAN

1/8" = 1'-0" PLAN NORTH TRUE NORTH



CHILLER ROOM DEMOLITION PLAN

1/8" = 1'-0"



- ### DEMOLITION GENERAL NOTES - PACKAGE 2
- FIELD VERIFY EXISTING CONDITIONS, MEASUREMENTS, AND LAYOUTS. CONTACT DESIGNER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
 - RESERVED
 - COORDINATE WITH ABATEMENT SPECIFICATIONS FOR ADDITIONAL DEMOLITION INFORMATION AND SCOPE.
 - REMOVE EXISTING CEILING TILE AND GRID THROUGHOUT THE BUILDING. COORDINATE WITH ABATEMENT SPECIFICATIONS AND FIELD VERIFY LOCATIONS, CONDITIONS, AND HEIGHTS.
 - REMOVE REMAINING EXISTING CLOCKS THROUGHOUT BUILDING AND TURN OVER TO OWNER. IF OWNER DOES NOT WANT EXISTING CLOCKS, CONTRACTOR TO DISPOSE OF THEM PROPERLY.
 - CONTRACTOR TO REMOVE ANY REMAINING EXISTING TOILET DISPENSERS, SANITARY NAPKIN DISPOSAL, PAPER TOWEL DISPENSERS AND SOAP DISPENSERS. REMOVE ANY REMAINING EXISTING TOILET PARTITIONS.
 - REMOVE EXISTING TACK BOARD, MARKER BOARDS, OR CHALKBOARDS. SALVAGE AND TURN OVER TO OWNER FOR RE-USE AND/OR STORAGE. CONTRACTOR TO DISPOSE OF ANY UNWANTED TACKBOARDS, MARKERBOARDS, OR CHALKBOARDS.
 - REMOVE EXISTING FLOOR FINISHES THROUGHOUT THE BUILDING UNLESS NOTED TO REMAIN. COORDINATE WITH ABATEMENT SPECIFICATIONS AND DEMOLITION FLOOR PLANS.
 - REMOVE EXISTING DOOR HARDWARE AND TURN OVER TO OWNER. IF OWNER DOES NOT WANT EXISTING HARDWARE, CONTRACTOR TO DISPOSE OF THEM PROPERLY.
 - REMOVE EXISTING APPLIED SOUND INSULATION THROUGHOUT THE BUILDING'S EXISTING STRUCTURAL CONCRETE DECKS AND BEAMS. COORDINATE WITH EXISTING CONDITIONS AND HAZARDOUS MATERIAL REPORTS. REMOVAL OF EXISTING APPLIED SOUND INSULATION SHOULD LEAVE THE EXISTING EXPOSED SURFACE READY TO BE PREPARED TO RECEIVE NEW FINISHES.
 - OWNER HAS MARKED SOME BREAKER, OTHER ELECTRICAL EQUIPMENT, AND ELEVATOR EQUIPMENT THEY WANT SALVAGED AND TURNED OVER TO THEM. COORDINATE WITH OWNER'S REPRESENTATIVE FOR MORE INFORMATION.
 - REMOVE TREES WITHIN THE CONSTRUCTION FENCED AREA AS REQUIRED FOR DEMOLITION OF THE WINDOWS AND OTHER DEMOLITION ACTIVITIES ASSOCIATED WITH PACKAGE 2.

- ### DEMOLITION KEY NOTES - FLOOR PLAN
- KEYNOTES SHOWN ARE NOT PARTICULAR TO THIS FLOOR PLAN. REFER TO DEMOLITION PLAN FOR SCOPE ITEMS.
- (RESERVED)
 - REMOVE EXISTING METAL FRAMED WINDOW & ASSOCIATED GLAZING, HARDWARE, SEALANT AND RELATED JAMB TRIM. PREP ROUGH OPENING FOR NEW WINDOW. COORDINATE WITH ABATEMENT SPECIFICATIONS AND EXISTING CONDITIONS FOR ANY REQUIRED ABATEMENT.
 - REMOVE EXISTING WINDOW, WINDOW FRAME AND GLAZING. REMOVE AND DISPOSE OF ALL ASSOCIATED WINDOW TRIMS, HARDWARE, PRE-CAST STONE HEADS, SILLS, JAMBS, AND WINDOW PANELING.
 - (RESERVED)
 - (RESERVED)
 - REMOVE EXISTING EXTERIOR DOOR AND ASSOCIATED FLASHING AND/OR WATERPROOFING. REMOVE AND DISPOSE EXISTING DOOR/TRANSOM AND ALL ASSOCIATED HARDWARE.
 - REMOVE EXISTING CONCRETE AND METAL PAN STAIR AND ALL RELATED HANDRAILS, GUARDRAILS, AND STRUCTURAL ATTACHMENTS.
 - REMOVE EXISTING HYDRAULIC ELEVATOR IN ITS ENTIRETY. REMOVE ALL RELATED EQUIPMENT AND ELECTRICAL / HYDRAULIC LINES BACK TO MAIN BRANCH. ELEVATOR PIT STRUCTURE TO REMAIN. COORDINATE WITH ABATEMENT SPECIFICATIONS FOR ANY REQUIRED ABATEMENT WORK. COORDINATE REMOVAL OF EQUIPMENT WITH OWNER'S REPRESENTATIVE FOR SALVAGE OF HYDRAULIC CONTROLS.
 - EXISTING HVAC SYSTEM TO BE REMOVED IN ITS ENTIRETY. REMOVE ALL EXISTING AIR HANDLERS, FANS, DUCTS, PUMPS, HEAT EXCHANGERS, PIPING, DUCTWORK, AND ALL RELATED CONDUIT. COORDINATE WITH SHEETS D4.1 THROUGH D4.4.
 - EXISTING AIR HANDLER EQUIPMENT PAD(S) TO REMAIN. PREP TO RECEIVE NEW EQUIPMENT. COORDINATE WITH SHEETS D4.1 THROUGH D4.4. FIELD VERIFY LOCATIONS AND SIZES.
 - REMOVE ALL EXISTING STEAM, CHILLED, AND HOT WATER PIPING BACK TO MAIN BRANCH PIPING TO EXISTING INCOMING SERVICE(S). REMOVE ALL RELATED HANGERS, VENT PIPING, AND DRAINAGE LINES. REMOVE AND DISPOSE OF EXISTING STEAM PRESSURE REDUCING STATION. COORDINATE WITH SHEETS D4.1 THROUGH D4.4 AND HAZARDOUS MATERIAL SPECIFICATIONS.
 - REMOVE ALL EXISTING ELECTRICAL PANELS, SUB-PANELS, SWITCHGEAR, CONDUITS, BRANCH WIRING, AND ALL RELATED HANGERS OR J-BOXES BACK TO INCOMING SERVICE. BUILDING SERVICE TO BE UPGRADED. COORDINATE WITH SHEETS D4.1 THROUGH D4.4. THE OWNER HAS TAGGED SOME OF THE EXISTING EQUIPMENT TO BE SALVAGED AND TURNED OVER TO THE OWNER AFTER DEMOLITION. COORDINATE WITH OWNER'S REPRESENTATIVE FOR MORE INFORMATION.
 - REMOVE ALL EXISTING IT/TEL AND NETWORKING GEAR FROM THE BUILDING. COORDINATE DISPOSAL OF EQUIPMENT WITH OWNER'S REPRESENTATIVE.
 - REMOVE ALL EXISTING PLUMBING FIXTURES, TOILET PARTITIONS, COUNTERTOPS, RESTROOM ACCESSORIES, AND FINISHES. REMOVE ALL EXISTING CONDUITS BACK TO INCOMING SERVICE. COORDINATE WITH SHEETS D4.1 THROUGH D4.4.
 - DEMO PORTION OF EXISTING WALL TO ALLOW FOR NEW OPENING. PROVIDE TEMPORARY SUPPORT UNTIL NEW HEADER CAN BE INSTALLED.
 - EXISTING TIERED CONCRETE SUBFLOOR, RAMP, RISERS, AND STAIRS TO REMAIN. REMOVE ALL APPLIED FINISHES, TRIMS AND ALL ASSOCIATED MASTIC ADHESIVES FROM SURFACES. REMOVE EXISTING FIXED TABLES. COORDINATE WITH ABATEMENT SPECIFICATIONS FOR ANY REQUIRED ABATEMENT.
 - REMOVE EXISTING TIERED WOOD RISERS AND THEIR ASSOCIATED STRUCTURE AND FINISHES.
 - EXISTING STAIR / RAMP AND ASSOCIATED HANDRAILS TO REMAIN. REMOVE ALL EXISTING FLOOR FINISHES AND FLOOR BASE AND ALL ASSOCIATED MASTIC ADHESIVES FROM SURFACES.
 - REMOVE AND DISPOSE EXISTING SURFACE APPLIED INSULATION FROM EXISTING WALLS TO REMAIN. COORDINATE WITH HAZARDOUS MATERIALS SPECIFICATIONS AS REQUIRED.
 - EXISTING PRECAST STONE WINDOW TRIM TO REMAIN AT JAMB, AND HEAD OF EXISTING WINDOWS. SELECT DEMOLITION AT WINDOW PANEL TO ALLOW FOR DOOR IN NEXT PACKAGE. FIELD VERIFY EXISTING CONDITIONS AND SIZES.
 - EXISTING TIERED WOOD RISERS TO REMAIN. REMOVE ALL APPLIED FINISHES, TRIMS AND ASSOCIATED MASTIC ADHESIVES FROM SURFACES. REMOVE EXISTING FIXED DESKS AND DISPOSE. REMOVE THE TOP RISER AT REAR OF CASE / SEMINAR EX401. COORDINATE WITH SHEETS D4.1 THROUGH D4.4 FOR ANY ELECTRICAL NOTES.
 - (RESERVED)
 - (RESERVED)
 - EXISTING ROOF, ROOF DOWNSPOUTS, ROOF DRAINS, GUTTERS, AND ROOF MOUNTED EQUIPMENT TO REMAIN. PROTECT AND PRESERVE FOR THE DURATION OF CONSTRUCTION.
 - EXISTING ATTIC MEZZANINE TO REMAIN. COORDINATE WITH SHEETS D4.1 THROUGH D4.4 FOR DEMOLITION OF MECHANICAL AND ELECTRICAL EQUIPMENT ON THAT MEZZANINE.
 - EXISTING ATTIC MECHANICAL LOFT TO BE DEMOLISHED. REMOVE ALL RELATED EQUIPMENT, HANDRAILS, GUARDRAILS AND ALL RELATED LOFT STRUCTURAL ELEMENTS. COORDINATE WITH SHEETS D4.1 THROUGH D4.4.
 - DEMO PORTION OF FLOOR FOR NEW STAIR / SHAFT / UTILITY PENETRATION.
 - (RESERVED)
 - SALVAGE FOR RE-USE EXISTING HALLWAY TIME CLOCK. COORDINATE STORAGE WITH OWNERS REPRESENTATIVE.
 - SALVAGE EXISTING COMMEMORATIVE PLAQUES AND/OR CASEWORK FOR RE-USE. COORDINATE STORAGE WITH OWNERS REPRESENTATIVE.
 - REMOVE EXISTING GRILLE IN WALL.
 - SALVAGE EXISTING FIRE EXTINGUISHER CABINET FOR RE-USE. STORE ON SITE UNTIL PACKAGE 3 IS RELEASED.
 - REMOVE AND DISPOSE OF EXISTING HORIZONTAL SLIDING MARKERBOARD SET INTO EXISTING WALL TO REMAIN.
 - COORDINATE DEMOLITION OF WALLS WITH DEMOLITION OF EXISTING CONCRETE MEZZANINE ABOVE.
 - REMOVE ALL APPLIED FINISHES FROM EXISTING WALLS TO REMAIN DOWN TO STRUCT WALL / SHEATHING. REMOVE ALL WALL PAPER, CERAMIC TILES, ACOUSTIC PANELS OR INSULATION, WOOD TRIM AND WAINSCOTS, CONDUITS AND J-BOXES BACK TO SOURCE, AND ANY ASSOCIATED HARDWARE OR MASTIC SEALANTS FROM SURFACE.
 - (RESERVED)
 - REMOVE EXISTING RAMP ON GRADE AND ALL ASSOCIATED WALLS / STRUCTURE. REMOVE EXISTING INFILL BELOW SLAB AND PREPARE FOR NEW SLAB INFILL.
 - (RESERVED)
 - (RESERVED)
 - REMOVE EXISTING ATTIC SPRINKLER SYSTEM. COORDINATE WITH SHEETS D4.1 THROUGH D4.4.
 - REMOVE EXISTING MOVEABLE PANEL WALL AND TRACK AND ASSOCIATED STRUCTURE.
 - CUT OPENING INTO EXISTING LIMESTONE PORTION OF WALL FOR NEW WINDOW. VERIFY SIZE OF WINDOW PRIOR TO CUTTING OPENING. PROTECT LIMESTONE JAMB ON EXTERIOR SIDE OF WINDOW OPENING. SUPPORT EXISTING LIMESTONE ABOVE HEAD AS REQUIRED UNTIL NEEDED STRUCTURAL LINTEL AND WINDOW CAN BE INSTALLED.
 - REMOVE AND SALVAGE STONE PANELS AT WINDOW OPENING FOR INSTALLATION OF CONSTRUCTION SCAFFOLDING. REMOVE BLOCK BEHIND STONE PANELS AS DIRECTED BY THE CMGC.

COMMUNITY
TECHNICS
ARCHITECTS

7610 Casson Road
Knoxville, TN 37919
Ph: (615) 537-0900
www.communitytechnics.com

Upland
Design
Group
ARCHITECTS

150 Construction Drive
Cookeville, TN 38507
Ph: (615) 447-7471
www.uplandgroup.com

W&O
Construction

150 Construction Drive
Cookeville, TN 38507
Ph: (615) 421-1000
www.wco.com

PROJECT
JOHNSON HALL ABATEMENT & DEMOLITION - PKG 2
JOHNSON HALL RENOVATION & FOSTER DEMOLITION
SBC # 364/011-04-2022CM

LOCATION
TENNESSEE TECH. UNIVERSITY
COOKEVILLE, TN



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NO.	DESCRIPTION	DATE
1	Additional 1 - PKG 2	12-02-24

JOB NO.
22025

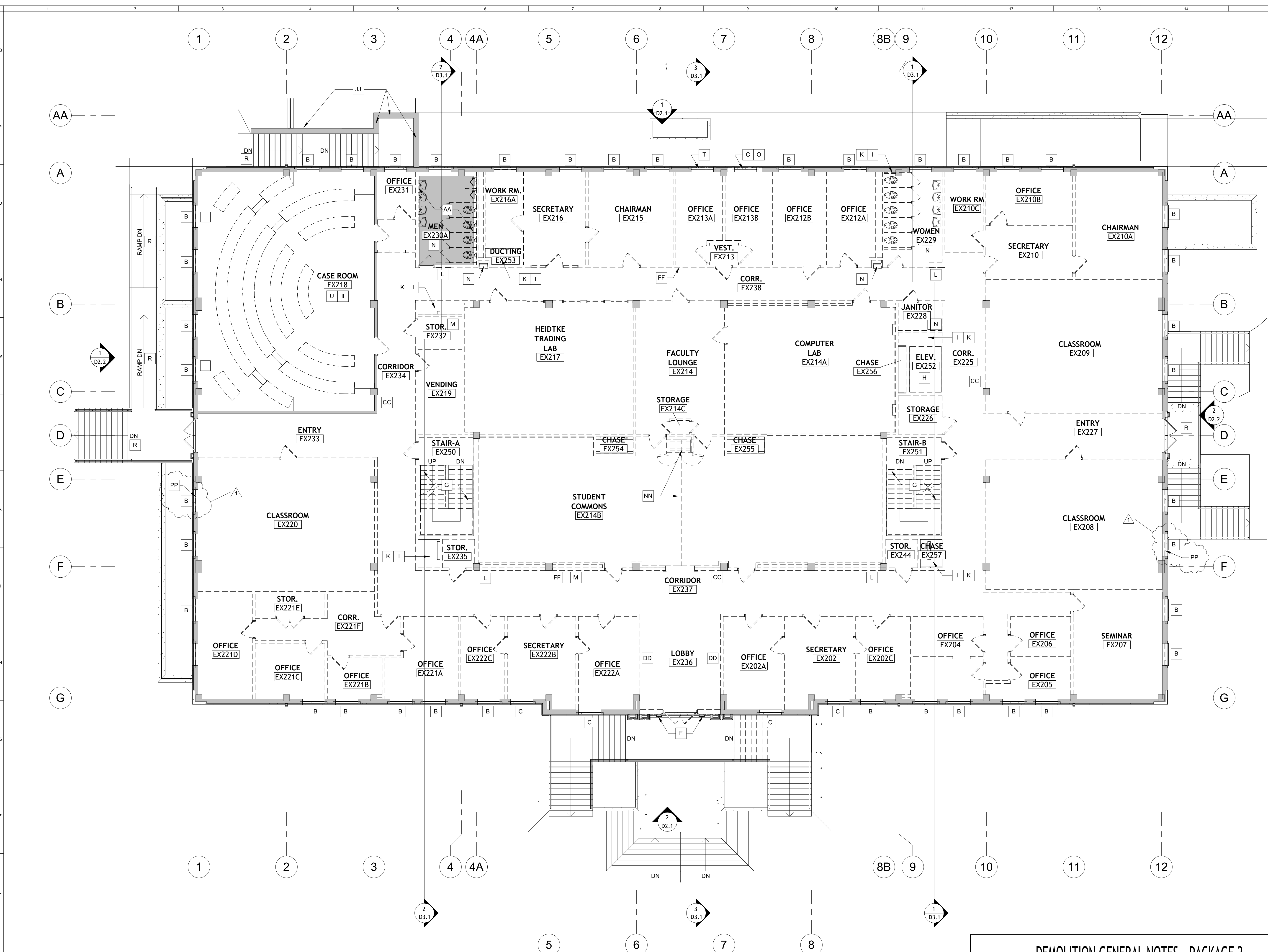
ISSUE DATE
11-20-24

SHEET TITLE
DEMOLITION PLAN - FIRST FLOOR PKG 2

DRAWN
CWD

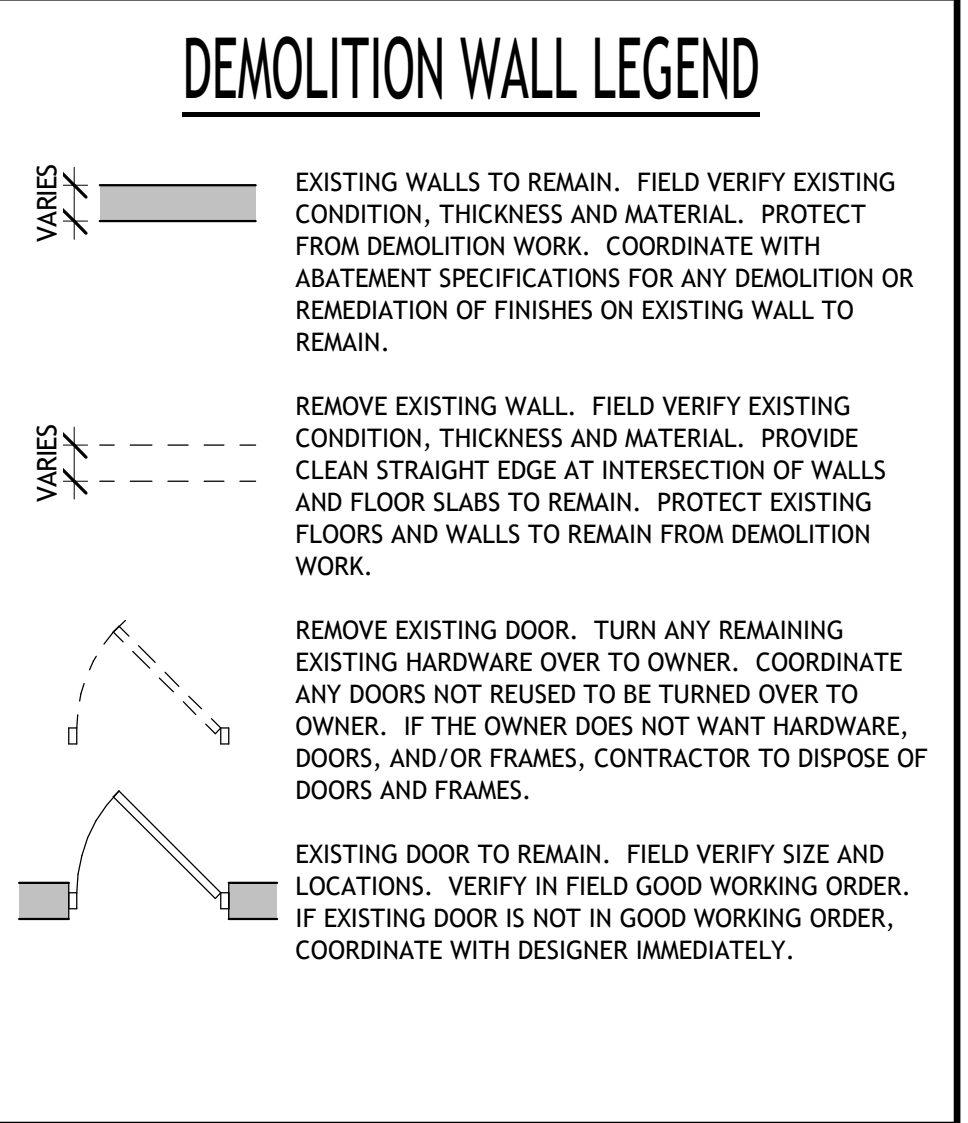
REVIEW
KAC

D1.1



SECOND FLOOR DEMOLITION PLAN

1/8" = 1'-0" PLAN NORTH TRUE NORTH



- DEMOLITION GENERAL NOTES - PACKAGE 2**
- FIELD VERIFY EXISTING CONDITIONS, MEASUREMENTS, AND LAYOUTS. CONTACT DESIGNER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
 - RESERVED
 - COORDINATE WITH ABATEMENT SPECIFICATIONS FOR ADDITIONAL DEMOLITION INFORMATION AND SCOPE.
 - REMOVE EXISTING CEILING TILE AND GRIDS THROUGHOUT THE BUILDING. COORDINATE WITH ABATEMENT SPECIFICATIONS AND FIELD VERIFY LOCATIONS, CONDITIONS, AND HEIGHTS.
 - REMOVE REMAINING EXISTING CLOCKS THROUGHOUT BUILDING AND TURN OVER TO OWNER. IF OWNER DOES NOT WANT EXISTING CLOCKS, CONTRACTOR TO DISPOSE OF THEM PROPERLY.
 - CONTRACTOR TO REMOVE ANY REMAINING EXISTING TOILET DISPENSERS, SANITARY NAPKIN DISPOSAL, PAPER TOWEL DISPENSERS AND SOAP DISPENSERS. REMOVE ANY REMAINING EXISTING TOILET PARTITIONS.
 - REMOVE EXISTING TACK BOARD, MARKER BOARDS, OR CHALKBOARDS. SALVAGE AND TURN OVER TO OWNER FOR RE-USE AND/OR STORAGE. CONTRACTOR TO DISPOSE OF ANY UNWANTED TACKBOARDS, MARKERBOARDS, OR CHALKBOARDS.
 - REMOVE EXISTING FLOOR FINISHES THROUGHOUT THE BUILDING UNLESS NOTED TO REMAIN. COORDINATE WITH ABATEMENT SPECIFICATIONS AND DEMOLITION FLOOR PLANS.
 - REMOVE EXISTING DOOR HARDWARE AND TURN OVER TO OWNER. IF OWNER DOES NOT WANT EXISTING HARDWARE, CONTRACTOR TO DISPOSE OF THEM PROPERLY.
 - REMOVE EXISTING APPLIED SOUND INSULATION THROUGHOUT THE BUILDING'S EXISTING STRUCTURAL CONCRETE DECKS AND BEAMS. COORDINATE WITH EXISTING CONDITIONS AND HAZARDOUS MATERIAL REPORTS. REMOVAL OF EXISTING APPLIED SOUND INSULATION SHOULD LEAVE THE EXISTING EXPOSED SURFACE READY TO BE PREPARED TO RECEIVE NEW FINISHES.
 - OWNER HAS MARKED SOME BREAKER, OTHER ELECTRICAL EQUIPMENT, AND ELEVATOR EQUIPMENT THEY WANT SALVAGED AND TURNED OVER TO THEM. COORDINATE WITH OWNER'S REPRESENTATIVE FOR MORE INFORMATION.
 - REMOVE TREES WITHIN THE CONSTRUCTION FENCED AREA AS REQUIRED FOR DEMOLITION OF THE WINDOWS AND OTHER DEMOLITION ACTIVITIES ASSOCIATED WITH PACKAGE 2.

DEMOLITION KEY NOTES - FLOOR PLAN

- KEYNOTES SHOWN ARE NOT PARTICULAR TO THIS FLOOR PLAN. REFER TO DEMOLITION PLAN FOR SCOPE ITEMS.
- (RESERVED)
 - REMOVE EXISTING METAL FRAMED WINDOW & ASSOCIATED GLAZING, HARDWARE, SEALANT AND RELATED JAMB TRIM. PREP ROUGH OPENING FOR NEW WINDOW. COORDINATE WITH ABATEMENT SPECIFICATIONS AND EXISTING CONDITIONS FOR ANY REQUIRED ABATEMENT.
 - REMOVE EXISTING WINDOW, WINDOW FRAME AND GLAZING. REMOVE AND DISPOSE OF ALL ASSOCIATED WINDOW TRIMS, HARDWARE, PRE-CAST STONE HEADS, SILLS, JAMBS, AND WINDOW PANELING.
 - (RESERVED)
 - (RESERVED)
 - REMOVE EXISTING EXTERIOR DOOR AND ASSOCIATED FLASHING AND/OR WATERPROOFING. REMOVE AND DISPOSE EXISTING DOOR/TRANSOM AND ALL ASSOCIATED HARDWARE.
 - REMOVE EXISTING CONCRETE AND METAL PAN STAIR AND ALL RELATED HANDRAILS, GUARDRAILS, AND STRUCTURAL ATTACHMENTS.
 - REMOVE EXISTING HYDRAULIC ELEVATOR IN ITS ENTIRETY. REMOVE ALL RELATED EQUIPMENT AND ELECTRICAL / HYDRAULIC LINES BACK TO MAIN BRANCH. ELEVATOR PIT STRUCTURE TO REMAIN. COORDINATE WITH ABATEMENT SPECIFICATIONS FOR ANY REQUIRED ABATEMENT WORK. COORDINATE REMOVAL OF EQUIPMENT WITH OWNER'S REPRESENTATIVE FOR SALVAGE OF HYDRAULIC CONTROLS.
 - EXISTING HVAC SYSTEM TO BE REMOVED IN ITS ENTIRETY. REMOVE ALL EXISTING AIR HANDLERS, FANS, DUCTS, PUMPS, HEAT EXCHANGERS, PIPING, DUCTWORK, AND ALL RELATED CONDUIT. COORDINATE WITH SHEETS D4.1 THROUGH D4.4.
 - EXISTING AIR HANDLER EQUIPMENT PAD(S) TO REMAIN. PREP TO RECEIVE NEW EQUIPMENT. COORDINATE WITH SHEETS D4.1 THROUGH D4.4. FIELD VERIFY LOCATIONS AND SIZES.
 - REMOVE ALL EXISTING STEAM, CHILLED, AND HOT WATER PIPING BACK TO MAIN BRANCH PIPING TO EXISTING INCOMING SERVICE(S). REMOVE ALL RELATED HANGERS, VENT PIPING, AND DRAINAGE LINES. REMOVE AND DISPOSE OF EXISTING STEAM PRESSURE REDUCING STATION. COORDINATE WITH SHEETS D4.1 THROUGH D4.4 AND HAZARDOUS MATERIAL SPECIFICATIONS.
 - REMOVE ALL EXISTING ELECTRICAL PANELS, SUB-PANELS, SWITCHGEAR, CONDUITS, BRANCH WIRING, AND ALL RELATED HANGERS OR J-BOXES BACK TO INCOMING SERVICE. BUILDING SERVICE TO BE UPGRADED. COORDINATE WITH SHEETS D4.1 THROUGH D4.4. THE OWNER HAS TAGGED SOME OF THE EXISTING EQUIPMENT TO BE SALVAGED AND TURNED OVER TO THE OWNER AFTER DEMOLITION. COORDINATE WITH OWNER'S REPRESENTATIVE FOR MORE INFORMATION.
 - REMOVE ALL EXISTING ITTEL AND NETWORKING GEAR FROM THE BUILDING. COORDINATE DISPOSAL OF EQUIPMENT WITH OWNER'S REPRESENTATIVE.
 - REMOVE ALL EXISTING PLUMBING FIXTURES, TOILET PARTITIONS, COUNTERTOPS, RESTROOM ACCESSORIES, AND FINISHES. REMOVE ALL EXISTING CONDUITS BACK TO INCOMING SERVICE. COORDINATE WITH SHEETS D4.1 THROUGH D4.4.
 - DEMO PORTION OF EXISTING WALL TO ALLOW FOR NEW OPENING. PROVIDE TEMPORARY SUPPORT UNTIL NEW HEADER CAN BE INSTALLED.
 - EXISTING TIERED CONCRETE SUBFLOOR, RAMP, RISERS, AND STAIRS TO REMAIN. REMOVE ALL APPLIED FINISHES, TRIMS AND ALL ASSOCIATED MASTIC ADHESIVE FROM SURFACES. REMOVE EXISTING FIXED TABLES. COORDINATE WITH ABATEMENT SPECIFICATIONS FOR ANY REQUIRED ABATEMENT.
 - REMOVE EXISTING TIERED WOOD RISERS AND THEIR ASSOCIATED STRUCTURE AND FINISHES.
 - EXISTING STAIR / RAMP AND ASSOCIATED HANDRAILS TO REMAIN. REMOVE ALL EXISTING FLOOR FINISHES AND FLOOR BASE AND ALL ASSOCIATED MASTIC ADHESIVES FROM SURFACES.
 - REMOVE AND DISPOSE EXISTING SURFACE APPLIED INSULATION FROM EXISTING WALLS TO REMAIN. COORDINATE WITH HAZARDOUS MATERIALS SPECIFICATIONS AS REQUIRED.
 - EXISTING PRECAST STONE WINDOW TRIM TO REMAIN AT JAMB, AND HEAD OF EXISTING WINDOWS. SELECT DEMOLITION AT WINDOW PANEL TO ALLOW FOR DOOR IN NEXT PACKAGE. FIELD VERIFY EXISTING CONDITIONS AND SIZES.
 - EXISTING TIERED WOOD RISERS TO REMAIN. REMOVE ALL APPLIED FINISHES, TRIMS AND ASSOCIATED MASTIC ADHESIVES FROM SURFACES. REMOVE EXISTING FIXED DESKS AND DISPOSE. REMOVE THE TOP RISER AT REAR OF CASE / SEMINAR EX401. COORDINATE WITH SHEETS D4.1 THROUGH D4.4 FOR ANY ELECTRICAL NOTES.
 - (RESERVED)
 - (RESERVED)
 - EXISTING ROOF, ROOF DOWNSPOUTS, ROOF DRAINS, GUTTERS, AND ROOF MOUNTED EQUIPMENT TO REMAIN. PROTECT AND PRESERVE FOR THE DURATION OF CONSTRUCTION.
 - EXISTING ATTIC MEZZANINE TO REMAIN. COORDINATE WITH SHEETS D4.1 THROUGH D4.4 FOR DEMOLITION OF MECHANICAL AND ELECTRICAL EQUIPMENT ON THAT MEZZANINE.
 - EXISTING ATTIC MECHANICAL LOFT TO BE DEMOLISHED. REMOVE ALL RELATED EQUIPMENT, HANDRAILS, GUARDRAILS AND ALL RELATED LOFT STRUCTURAL ELEMENTS. COORDINATE WITH SHEETS D4.1 THROUGH D4.4.
 - DEMO PORTION OF FLOOR FOR NEW STAIR / SHAFT / UTILITY PENETRATION.
 - (RESERVED)
 - SALVAGE FOR RE-USE EXISTING HALLWAY TIME CLOCK. COORDINATE STORAGE WITH OWNERS REPRESENTATIVE.
 - SALVAGE EXISTING COMMEMORATIVE PLAQUES AND/OR CASEWORK FOR RE-USE. COORDINATE STORAGE WITH OWNERS REPRESENTATIVE.
 - REMOVE EXISTING GRILLE IN WALL.
 - SALVAGE EXISTING FIRE EXTINGUISHER CABINET FOR RE-USE. STORE ON SITE UNTIL PACKAGE 3 IS RELEASED.
 - REMOVE AND DISPOSE OF EXISTING HORIZONTAL SLIDING MARKERBOARD SET INTO EXISTING WALL TO REMAIN.
 - COORDINATE DEMOLITION OF WALLS WITH DEMOLITION OF EXISTING CONCRETE MEZZANINE ABOVE.
 - REMOVE ALL APPLIED FINISHES FROM EXISTING WALLS TO REMAIN DOWN TO STRUCT WALL / SHEATHING. REMOVE ALL WALL PAPER, CERAMIC TILES, ACOUSTIC PANELS OR INSULATION, WOOD TRIM AND WAINSCOTS, CONDUITS AND J-BOXES BACK TO SOURCE, AND ANY ASSOCIATED HARDWARE OR MASTIC SEALANTS FROM SURFACE.
 - (RESERVED)
 - REMOVE EXISTING RAMP ON GRADE AND ALL ASSOCIATED WALLS / STRUCTURE. REMOVE EXISTING INFILL BELOW SLAB AND PREPARE FOR NEW SLAB IN-FILL.
 - (RESERVED)
 - REMOVE EXISTING ATTIC SPRINKLER SYSTEM. COORDINATE WITH SHEETS D4.1 THROUGH D4.4.
 - REMOVE EXISTING MOVEABLE PANEL WALL AND TRACK AND ASSOCIATED STRUCTURE.
 - CUT OPENING INTO EXISTING LIMESTONE PORTION OF WALL FOR NEW WINDOW. VERIFY SIZE OF WINDOW PRIOR TO CUTTING OPENING. PROTECT LIMESTONE JAMB ON EXTERIOR SIDE OF WINDOW OPENING. SUPPORT EXISTING LIMESTONE ABOVE HEAD AS REQUIRED UNTIL NEEDED STRUCTURAL LINTEL AND WINDOW CAN BE INSTALLED.
 - REMOVE AND SALVAGE STONE PANELS AT WINDOW OPENING FOR INSTALLATION OF CONSTRUCTION SCAFFOLDING. REMOVE BLOCK BEHIND STONE PANELS AS DIRECTED BY THE CMGC.

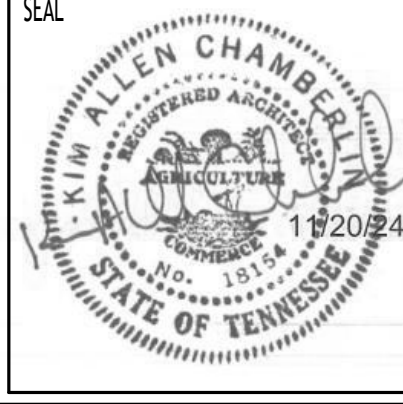
COMMUNITY ELECTONICS ARCHITECTS
 Knoxville, TN 37919
 7610 Casson Road
 P.O. Box 1026
 Knoxville, TN 37937
 Ph: (615) 537-9900
 www.communityelectonics.com

Upland Design Group
 Knoxville, TN 37937
 P.O. Box 1026
 Knoxville, TN 37937
 Ph: (615) 447-7411
 www.uplanddesigngroup.com

W&O Construction
 Livingston, TN 38570
 150 Construction Drive
 Livingston, TN 38570
 Ph: (615) 421-1000
 www.wco.com

JOHNSON HALL ABATEMENT & DEMOLITION - PKG 2
JOHNSON HALL RENOVATION & FOSTER DEMOLITION
 SBC NO 364/011-04-2022CM

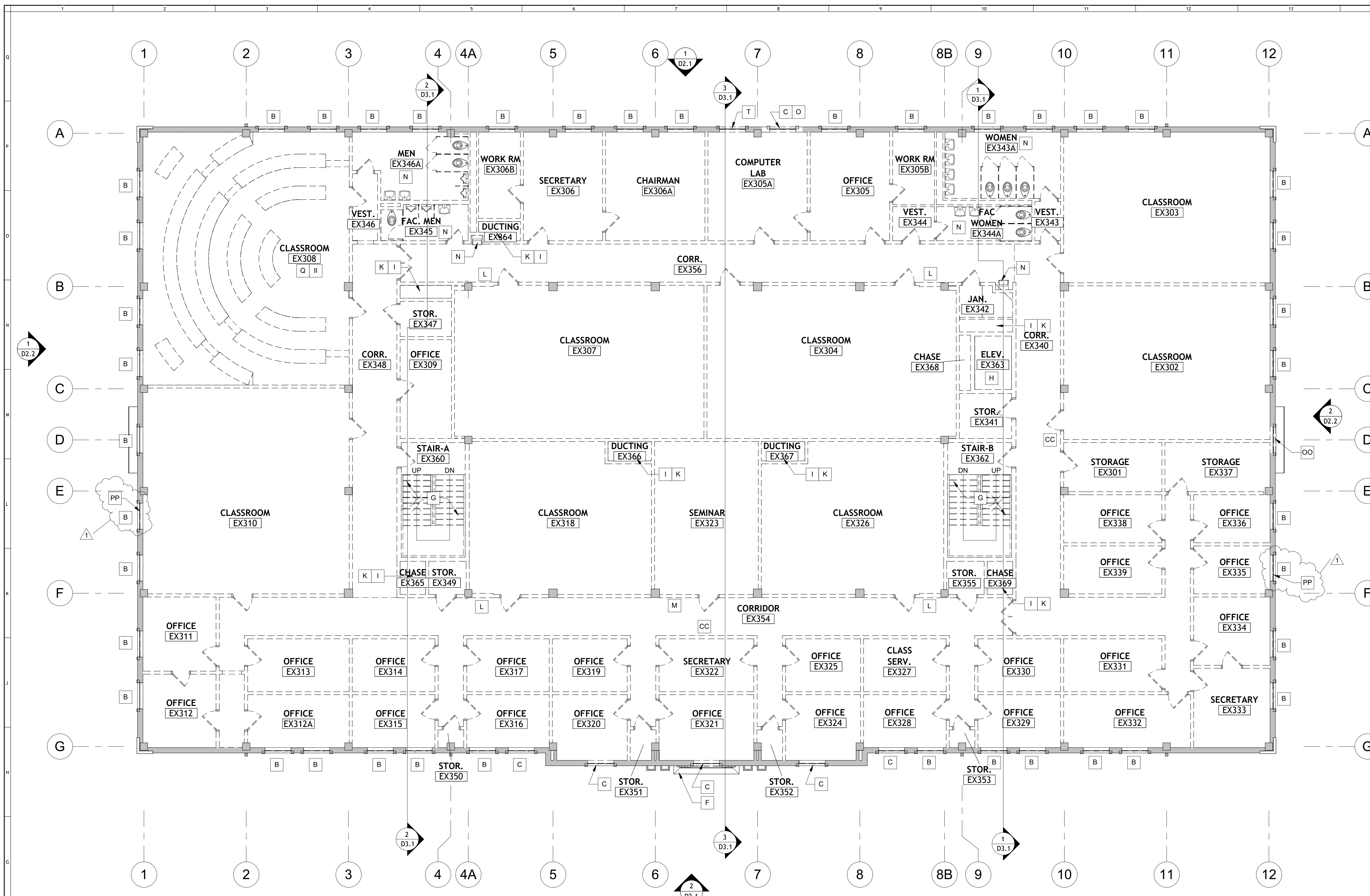
OWNER: TENNESSEE TECH. UNIVERSITY
 LOCATION: COOKEVILLE, TN



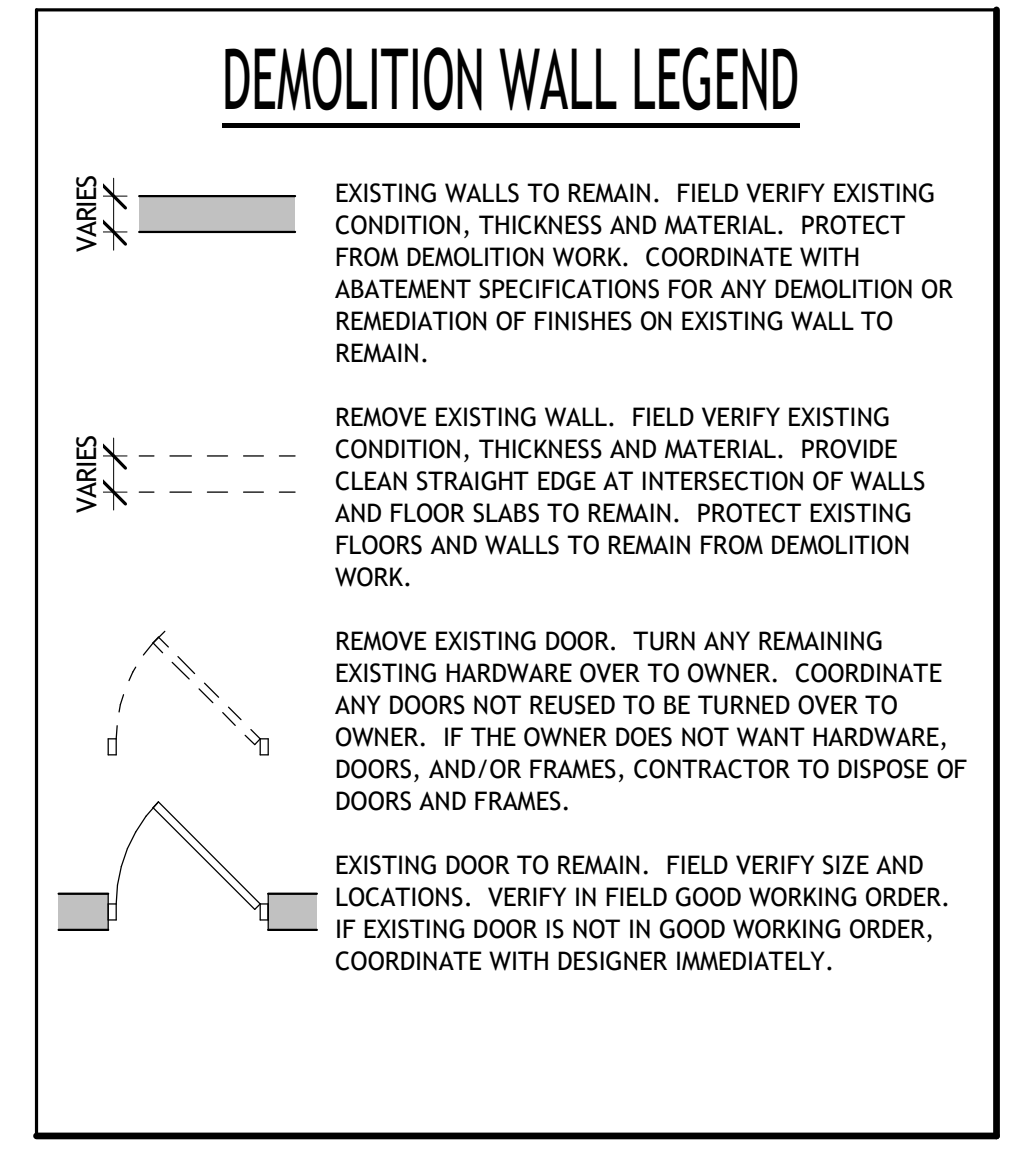
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NO.	DATE	DESCRIPTION
1	12-06-24	ADDENDUM 1 - PKG 2

JOB NO.	22025
ISSUE DATE	11-20-24
SHEET TITLE	DEMOLITION PLAN - SECOND FLOOR PKG 2
DRAWN	CWD
REVIEW	KAC
D1.2	



THIRD FLOOR DEMOLITION PLAN
 1/8" = 1'-0" PLAN NORTH TRUE NORTH



- DEMOLITION GENERAL NOTES - PACKAGE 2**
- FIELD VERIFY EXISTING CONDITIONS, MEASUREMENTS, AND LAYOUTS. CONTACT DESIGNER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
 - RESERVED
 - COORDINATE WITH ABATEMENT SPECIFICATIONS FOR ADDITIONAL DEMOLITION INFORMATION AND SCOPE.
 - REMOVE EXISTING CEILING TILE AND GRIDS THROUGHOUT THE BUILDING. COORDINATE WITH ABATEMENT SPECIFICATIONS AND FIELD VERIFY LOCATIONS, CONDITIONS, AND HEIGHTS.
 - REMOVE REMAINING EXISTING CLOCKS THROUGHOUT BUILDING AND TURN OVER TO OWNER. IF OWNER DOES NOT WANT EXISTING CLOCKS, CONTRACTOR TO DISPOSE OF THEM PROPERLY.
 - CONTRACTOR TO REMOVE ANY REMAINING EXISTING TOILET DISPENSERS, SANITARY NAPKIN DISPOSAL, PAPER TOWEL DISPENSERS AND SOAP DISPENSERS. REMOVE ANY REMAINING EXISTING TOILET PARTITIONS.
 - REMOVE EXISTING TACK BOARD, MARKER BOARDS, OR CHALKBOARDS. SALVAGE AND TURN OVER TO OWNER FOR RE-USE AND/OR STORAGE. CONTRACTOR TO DISPOSE OF ANY UNWANTED TACKBOARDS, MARKERBOARDS, OR CHALKBOARDS.
 - REMOVE EXISTING FLOOR FINISHES THROUGHOUT THE BUILDING UNLESS NOTED TO REMAIN. COORDINATE WITH ABATEMENT SPECIFICATIONS AND DEMOLITION FLOOR PLANS.
 - REMOVE EXISTING DOOR HARDWARE AND TURN OVER TO OWNER. IF OWNER DOES NOT WANT EXISTING HARDWARE, CONTRACTOR TO DISPOSE OF THEM PROPERLY.
 - REMOVE EXISTING APPLIED SOUND INSULATION THROUGHOUT THE BUILDING'S EXISTING STRUCTURAL CONCRETE DECKS AND BEAMS. COORDINATE WITH EXISTING CONDITIONS AND HAZARDOUS MATERIAL REPORTS. REMOVAL OF EXISTING APPLIED SOUND INSULATION SHOULD LEAVE THE EXISTING EXPOSED SURFACE READY TO BE PREPARED TO RECEIVE NEW FINISHES.
 - OWNER HAS MARKED SOME BREAKER, OTHER ELECTRICAL EQUIPMENT, AND ELEVATOR EQUIPMENT THEY WANT SALVAGED AND TURNED OVER TO THEM. COORDINATE WITH OWNER'S REPRESENTATIVE FOR MORE INFORMATION.
 - REMOVE TREES WITHIN THE CONSTRUCTION FENCED AREA AS REQUIRED FOR DEMOLITION OF THE WINDOWS AND OTHER DEMOLITION ACTIVITIES ASSOCIATED WITH PACKAGE 2.

- DEMOLITION KEY NOTES - FLOOR PLAN**
- KEYNOTES SHOWN ARE NOT PARTICULAR TO THIS FLOOR PLAN. REFER TO DEMOLITION PLAN FOR SCOPE ITEMS.
- A. (RESERVED)
 - B. REMOVE EXISTING METAL FRAMED WINDOW & ASSOCIATED GLAZING, HARDWARE, SEALANT AND RELATED JAMB TRIM. PREP ROUGH OPENING FOR NEW WINDOW. COORDINATE WITH ABATEMENT SPECIFICATIONS AND EXISTING CONDITIONS FOR ANY REQUIRED ABATEMENT.
 - C. REMOVE EXISTING WINDOW, WINDOW FRAME AND GLAZING. REMOVE AND DISPOSE OF ALL ASSOCIATED WINDOW TRIMS, HARDWARE, PRE-CAST STONE HEADS, SILLS, JAMBS, AND WINDOW PANNING.
 - D. (RESERVED)
 - E. (RESERVED)
 - F. REMOVE EXISTING EXTERIOR DOOR AND ASSOCIATED FLASHING AND/OR WATERPROOFING. REMOVE AND DISPOSE EXISTING DOOR/TRANSOM AND ALL ASSOCIATED HARDWARE.
 - G. REMOVE EXISTING CONCRETE AND METAL PAN STAIR AND ALL RELATED HANDRAILS, GUARDRAILS, AND STRUCTURAL ATTACHMENTS.
 - H. REMOVE EXISTING HYDRAULIC ELEVATOR IN ITS ENTIRETY. REMOVE ALL RELATED EQUIPMENT AND ELECTRICAL / HYDRAULIC LINES BACK TO MAIN BRANCH. ELEVATOR PIT STRUCTURE TO REMAIN. COORDINATE WITH ABATEMENT SPECIFICATIONS FOR ANY REQUIRED ABATEMENT WORK. COORDINATE REMOVAL OF EQUIPMENT WITH OWNER'S REPRESENTATIVE FOR SALVAGE OF HYDRAULIC CONTROLS.
 - I. EXISTING HVAC SYSTEM TO BE REMOVED IN ITS ENTIRETY. REMOVE ALL EXISTING AIR HANDLERS, FANS, DUCTS, PUMPS, HEAT EXCHANGERS, PIPING, DUCTWORK, AND ALL RELATED CONDUIT. COORDINATE WITH SHEETS D4.1 THROUGH D4.4. FIELD VERIFY LOCATIONS AND SIZES.
 - J. EXISTING AIR HANDLER EQUIPMENT (PADS) TO REMAIN. PREP TO RECEIVE NEW EQUIPMENT. COORDINATE WITH SHEETS D4.1 THROUGH D4.4. FIELD VERIFY LOCATIONS AND SIZES.
 - K. REMOVE ALL EXISTING STEAM, CHILLED, AND HOT WATER PIPING BACK TO MAIN BRANCH PIPING TO EXISTING INCOMING SERVICE(S). REMOVE ALL RELATED HANGERS, VENT PIPING, AND DRAINAGE LINES. REMOVE AND DISPOSE OF EXISTING STEAM PRESSURE REDUCING STATION. COORDINATE WITH SHEETS D4.1 THROUGH D4.4 AND HAZARDOUS MATERIAL SPECIFICATIONS.
 - L. REMOVE ALL EXISTING ELECTRICAL PANELS, SUB-PANELS, SWITCHGEAR, CONDUITS, BRANCH WIRING, AND ALL RELATED HANGERS OR J-BOXES BACK TO INCOMING SERVICE. BUILDING SERVICE TO BE UPGRADED. COORDINATE WITH SHEETS D4.1 THROUGH D4.4. THE OWNER HAS TAGGED SOME OF THE EXISTING EQUIPMENT TO BE SALVAGED AND TURNED OVER TO THE OWNER AFTER DEMOLITION. COORDINATE WITH OWNER'S REPRESENTATIVE FOR MORE INFORMATION.
 - M. REMOVE ALL EXISTING IT/TEL AND NETWORKING GEAR FROM THE BUILDING. COORDINATE DISPOSAL OF EQUIPMENT WITH OWNER'S REPRESENTATIVE.
 - N. REMOVE ALL EXISTING PLUMBING FIXTURES, TOILET PARTITIONS, COUNTERTOPS, RESTROOM ACCESSORIES, AND FINISHES. REMOVE ALL EXISTING CONDUITS BACK TO INCOMING SERVICE. COORDINATE WITH SHEETS D4.1 THROUGH D4.4.
 - O. DEMO PORTION OF EXISTING WALL TO ALLOW FOR NEW OPENING. PROVIDE TEMPORARY SUPPORT UNTIL NEW HEADER CAN BE INSTALLED.
 - P. EXISTING TIERED CONCRETE SUBFLOOR, RAMP RISERS, AND STAIRS TO REMAIN. REMOVE ALL APPLIED FINISHES, TRIMS AND ALL ASSOCIATED MASTIC ADHESIVE FROM SURFACES. REMOVE EXISTING FIXED TABLES. COORDINATE WITH ABATEMENT SPECIFICATIONS FOR ANY REQUIRED ABATEMENT.
 - Q. REMOVE EXISTING TIERED WOOD RISERS AND THEIR ASSOCIATED STRUCTURE AND FINISHES.
 - R. EXISTING STAIR / RAMP AND ASSOCIATED HANDRAILS TO REMAIN. REMOVE ALL EXISTING FLOOR FINISHES AND FLOOR BASE AND ALL ASSOCIATED MASTIC ADHESIVES FROM SURFACES.
 - S. REMOVE AND DISPOSE EXISTING SURFACE APPLIED INSULATION FROM EXISTING WALLS TO REMAIN. COORDINATE WITH HAZARDOUS MATERIALS SPECIFICATIONS AS REQUIRED.
 - T. EXISTING PRECAST STONE WINDOW TRIM TO REMAIN AT JAMB, AND HEAD OF EXISTING WINDOWS. SELECT DEMOLITION AT WINDOW PANEL TO ALLOW FOR DOOR IN NEXT PACKAGE. FIELD VERIFY EXISTING CONDITIONS AND SIZES.
 - U. EXISTING TIERED WOOD RISERS TO REMAIN. REMOVE ALL APPLIED FINISHES, TRIMS AND ASSOCIATED MASTIC ADHESIVES FROM SURFACES. REMOVE EXISTING FIXED DESKS AND DISPOSE. REMOVE THE TOP RISER AT REAR OF CASE / SEMINAR EX341. COORDINATE WITH SHEETS D4.1 THROUGH D4.4 FOR ANY ELECTRICAL NOTES.
 - V. (RESERVED)
 - W. (RESERVED)
 - X. EXISTING ROOF, ROOF DOWNSPOUTS, ROOF DRAINS, GUTTERS, AND ROOF MOUNTED EQUIPMENT TO REMAIN. PROTECT AND PRESERVE FOR THE DURATION OF CONSTRUCTION.
 - Y. EXISTING ATTIC MEZZANINE TO REMAIN. COORDINATE WITH SHEETS D4.1 THROUGH D4.4 FOR DEMOLITION OF MECHANICAL AND ELECTRICAL EQUIPMENT ON THAT MEZZANINE.
 - Z. EXISTING ATTIC MECHANICAL LOFT TO BE DEMOLISHED. REMOVE ALL RELATED EQUIPMENT, HANDRAILS, GUARDRAILS AND ALL RELATED LOFT STRUCTURAL ELEMENTS. COORDINATE WITH SHEETS D4.1 THROUGH D4.4.
 - AA. DEMO PORTION OF FLOOR FOR NEW STAIR / SHAFT / UTILITY PENETRATION.
 - BB. (RESERVED)
 - CC. SALVAGE FOR RE-USE EXISTING HALLWAY TIME CLOCK. COORDINATE STORAGE WITH OWNERS REPRESENTATIVE.
 - DD. SALVAGE EXISTING COMMEMORATIVE PLAQUES AND/OR CASEWORK FOR RE-USE. COORDINATE STORAGE WITH OWNERS REPRESENTATIVE.
 - EE. REMOVE EXISTING GRILLE IN WALL.
 - FF. SALVAGE EXISTING FIRE EXTINGUISHER CABINET FOR RE-USE. STORE ON SITE UNTIL PACKAGE 3 IS RELEASED.
 - GG. REMOVE AND DISPOSE OF EXISTING HORIZONTAL SLIDING MARKERBOARD SET INTO EXISTING WALL TO REMAIN.
 - HH. COORDINATE DEMOLITION OF WALLS WITH DEMOLITION OF EXISTING CONCRETE MEZZANINE ABOVE.
 - II. REMOVE ALL APPLIED FINISHES FROM EXISTING WALLS TO REMAIN DOWN TO STRUCT WALL / SHEATHING. REMOVE ALL WALL PAPER, CERAMIC TILES, ACOUSTIC PANELS OR INSULATION, WOOD TRIM AND WAINSCOTS, CONDUITS AND J-BOXES BACK TO SOURCE, AND ANY ASSOCIATED HARDWARE OR MASTIC SEALANTS FROM SURFACE.
 - JJ. (RESERVED)
 - KK. REMOVE EXISTING RAMP ON GRADE AND ALL ASSOCIATED WALLS / STRUCTURE. REMOVE EXISTING INFILL BELOW SLAB AND PREPARE FOR NEW SLAB IN-FILL.
 - LL. (RESERVED)
 - MM. REMOVE EXISTING ATTIC SPRINKLER SYSTEM. COORDINATE WITH SHEETS D4.1 THROUGH D4.4.
 - NN. REMOVE EXISTING MOVEABLE PANEL WALL AND TRACK AND ASSOCIATED STRUCTURE.
 - OO. CUT OPENING INTO EXISTING LIMESTONE PORTION OF WALL FOR NEW WINDOW. VERIFY SIZE OF WINDOW PRIOR TO CUTTING OPENING. PROTECT LIMESTONE JAMB ON EXTERIOR SIDE OF WINDOW OPENING. SUPPORT EXISTING LIMESTONE ABOVE HEAD AS REQUIRED UNTIL NEEDED STRUCTURAL LINTEL AND WINDOW CAN BE INSTALLED.
 - PP. REMOVE AND SALVAGE STONE PANELS AT WINDOW OPENING FOR INSTALLATION OF CONSTRUCTION SCAFFOLDING. REMOVE BLOCK BEHIND STONE PANELS AS DIRECTED BY THE CMGC.

COMMUNITY TECHNICS ARCHITECTS
 Knoxville, TN 37919
 7610 Coonrod Road
 Phone: (615) 577-9900
 www.communitytechnics.com

Unland Design Group
 Knoxville, TN 37937
 P.O. Box 1026
 Phone: (615) 447-7471
 www.unlanddesigngroup.com

W&O Construction
 Livingston, TN 38570
 150 Construction Drive
 Phone: (615) 471-1000
 www.wco.com

JOHNSON HALL ABATEMENT & DEMOLITION - PKG 2
JOHNSON HALL RENOVATION & FOSTER DEMOLITION
 SBC No 364/0111-04-2022CM

PROJECT LOCATION
 TENNESSEE TECH. UNIVERSITY COOKEVILLE, TN

SCALE

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NO.	DATE	DESCRIPTION
1	12-06-24	ADDENDUM 1 - PKG 2

JOB NO. **22025**

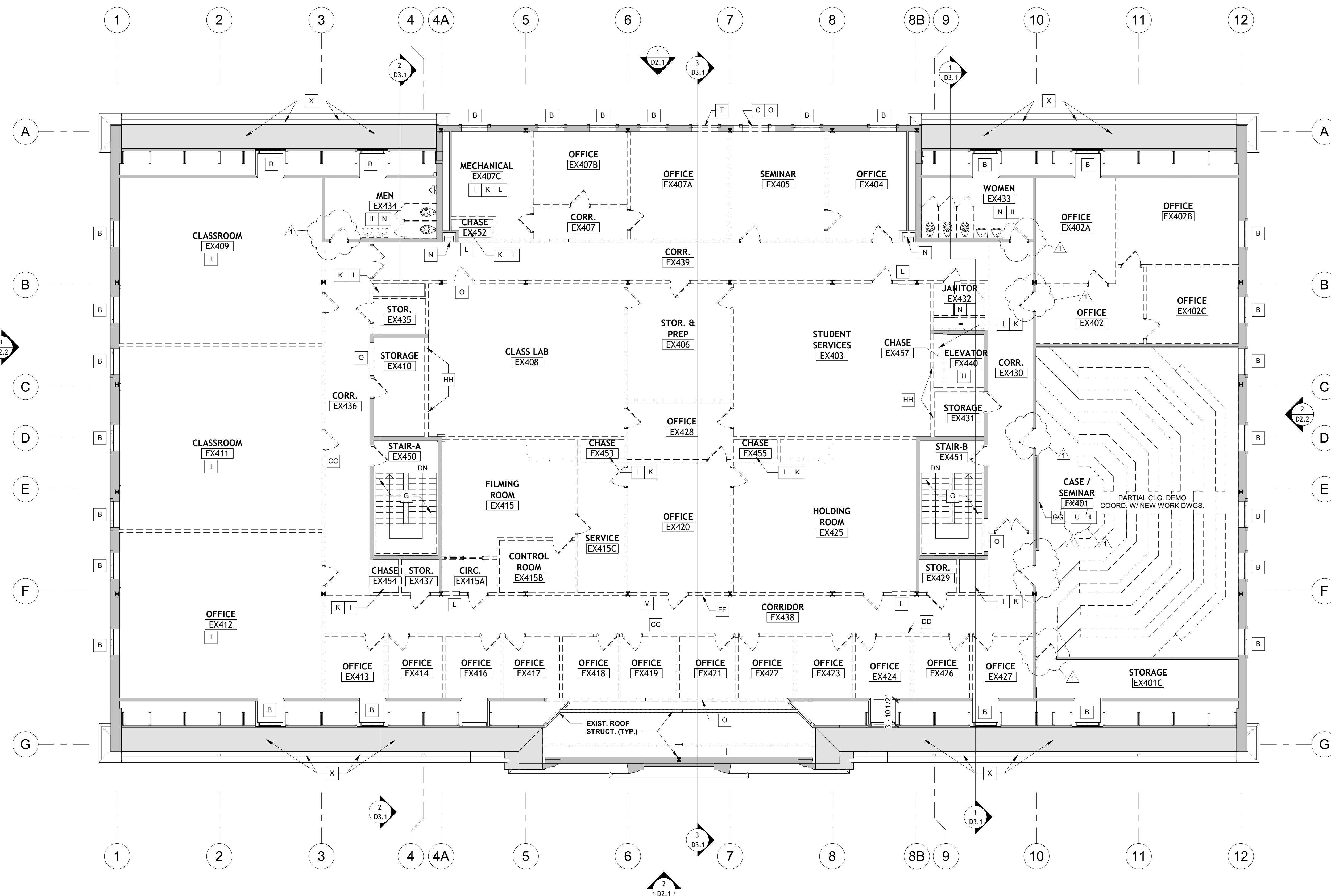
ISSUE DATE **11-20-24**

SHEET TITLE **DEMOLITION PLAN - THIRD FLOOR PKG 2**

DRAWN **CWD**

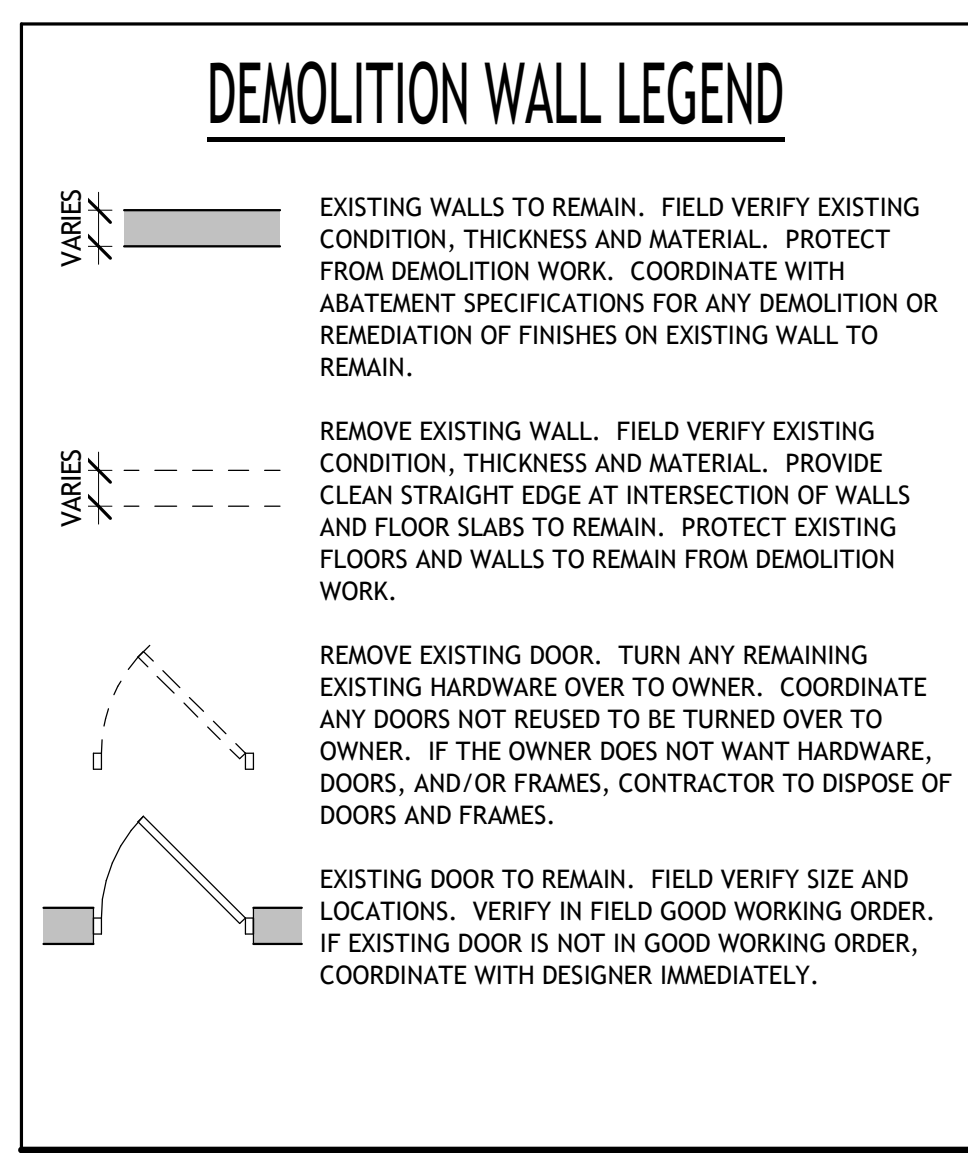
REVIEW **KAC**

D1.3



FOURTH FLOOR DEMOLITION PLAN

1/8" = 1'-0"
PLAN NORTH TRUE NORTH



- #### DEMOLITION GENERAL NOTES - PACKAGE 2
- FIELD VERIFY EXISTING CONDITIONS, MEASUREMENTS, AND LAYOUTS. CONTACT DESIGNER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
 - RESERVED
 - COORDINATE WITH ABATEMENT SPECIFICATIONS FOR ADDITIONAL DEMOLITION INFORMATION AND SCOPE.
 - REMOVE EXISTING CEILING TILE AND GRIDS THROUGHOUT THE BUILDING. COORDINATE WITH ABATEMENT SPECIFICATIONS AND FIELD VERIFY LOCATIONS, CONDITIONS, AND HEIGHTS.
 - REMOVE REMAINING EXISTING CLOCKS THROUGHOUT BUILDING AND TURN OVER TO OWNER. IF OWNER DOES NOT WANT EXISTING CLOCKS, CONTRACTOR TO DISPOSE OF THEM PROPERLY.
 - CONTRACTOR TO REMOVE ANY REMAINING EXISTING TOILET DISPENSERS, SANITARY NAPKIN DISPOSAL, PAPER TOWEL DISPENSERS AND SOAP DISPENSERS. REMOVE ANY REMAINING EXISTING TOILET PARTITIONS.
 - REMOVE EXISTING TACK BOARD, MARKER BOARDS, OR CHALKBOARDS. SALVAGE AND TURN OVER TO OWNERS FOR RE-USE AND/OR STORAGE. CONTRACTOR TO DISPOSE OF ANY UNWANTED TACKBOARDS, MARKERBOARDS, OR CHALKBOARDS.
 - REMOVE EXISTING FLOOR FINISHES THROUGHOUT THE BUILDING UNLESS NOTED TO REMAIN. COORDINATE WITH ABATEMENT SPECIFICATIONS AND DEMOLITION FLOOR PLANS.
 - REMOVE EXISTING DOOR HARDWARE AND TURN OVER TO OWNER. IF OWNER DOES NOT WANT EXISTING HARDWARE, CONTRACTOR TO DISPOSE OF THEM PROPERLY.
 - REMOVE EXISTING APPLIED SOUND INSULATION THROUGHOUT THE BUILDING'S EXISTING STRUCTURAL CONCRETE DECKS AND BEAMS. COORDINATE WITH EXISTING CONDITIONS AND HAZARDOUS MATERIAL REPORTS. REMOVAL OF EXISTING APPLIED SOUND INSULATION SHOULD LEAVE THE EXISTING EXPOSED SURFACE READY TO BE PREPARED TO RECEIVE NEW FINISHES.
 - OWNER HAS MARKED SOME BREAKER, OTHER ELECTRICAL EQUIPMENT, AND ELEVATOR EQUIPMENT THEY WANT SALVAGED AND TURNED OVER TO THEM. COORDINATE WITH OWNER'S REPRESENTATIVE FOR MORE INFORMATION.
 - REMOVE TREES WITHIN THE CONSTRUCTION FENCED AREA AS REQUIRED FOR DEMOLITION OF THE WINDOWS AND OTHER DEMOLITION ACTIVITIES ASSOCIATED WITH PACKAGE 2.

DEMOLITION KEY NOTES - FLOOR PLAN

- KEYNOTES SHOWN ARE NOT PARTICULAR TO THIS FLOOR PLAN. REFER TO DEMOLITION PLAN FOR SCOPE ITEMS.
- A. (RESERVED)
 - B. REMOVE EXISTING METAL FRAMED WINDOW & ASSOCIATED GLAZING, HARDWARE, SEALANT AND RELATED JAMB TRIM. PREP ROUGH OPENING FOR NEW WINDOW. COORDINATE WITH ABATEMENT SPECIFICATIONS AND EXISTING CONDITIONS FOR ANY REQUIRED ABATEMENT.
 - C. REMOVE EXISTING WINDOW, WINDOW FRAME AND GLAZING. REMOVE AND DISPOSE OF ALL ASSOCIATED WINDOW TRIMS, HARDWARE, PRE-CAST STONE HEADS, SILLS, JAMBS, AND WINDOW PANELING.
 - D. (RESERVED)
 - E. (RESERVED)
 - F. REMOVE EXISTING EXTERIOR DOOR AND ASSOCIATED FLASHING AND/OR WATERPROOFING. REMOVE AND DISPOSE EXISTING DOOR/TRANSOM AND ALL ASSOCIATED HARDWARE.
 - G. REMOVE EXISTING CONCRETE AND METAL PAN STAIR AND ALL RELATED HANDRAILS, GUARDRAILS, AND STRUCTURAL ATTACHMENTS.
 - H. REMOVE EXISTING HYDRAULIC ELEVATOR IN ITS ENTIRETY. REMOVE ALL RELATED EQUIPMENT AND ELECTRICAL / HYDRAULIC LINES BACK TO MAIN BRANCH. ELEVATOR PIT STRUCTURE TO REMAIN. COORDINATE WITH ABATEMENT SPECIFICATIONS FOR ANY REQUIRED ABATEMENT WORK. COORDINATE REMOVAL OF EQUIPMENT WITH OWNER'S REPRESENTATIVE FOR SALVAGE OF HYDRAULIC CONTROLS.
 - I. EXISTING HVAC SYSTEM TO BE REMOVED IN ITS ENTIRETY. REMOVE ALL EXISTING AIR HANDLERS, FANS, DUCTS, PUMPS, HEAT EXCHANGERS, PIPING, DUCTWORK, AND ALL RELATED CONDUIT. COORDINATE WITH SHEETS D4.1 THROUGH D4.4.
 - J. EXISTING AIR HANDLER EQUIPMENT PAD(S) TO REMAIN. PREP TO RECEIVE NEW EQUIPMENT. COORDINATE WITH SHEETS D4.1 THROUGH D4.4. FIELD VERIFY LOCATIONS AND SIZES.
 - K. REMOVE ALL EXISTING STEAM, CHILLED, AND HOT WATER PIPING BACK TO MAIN BRANCH PIPING TO EXISTING INCOMING SERVICE(S). REMOVE ALL RELATED HANGERS, VENT PIPING, AND DRAINAGE LINES. REMOVE AND DISPOSE OF EXISTING STEAM PRESSURE REDUCING STATION. COORDINATE WITH SHEETS D4.1 THROUGH D4.4 AND HAZARDOUS MATERIAL SPECIFICATIONS.
 - L. REMOVE ALL EXISTING ELECTRICAL PANELS, SUB-PANELS, SWITCHGEAR, CONDUITS, BRANCH WIRING, AND ALL RELATED HANGERS OR J-BOXES BACK TO INCOMING SERVICE. BUILDING SERVICE TO BE UPGRADED. COORDINATE WITH SHEETS D4.1 THROUGH D4.4. THE OWNER HAS TAGGED SOME OF THE EXISTING EQUIPMENT TO BE SALVAGED AND TURNED OVER TO THE OWNER AFTER DEMOLITION. COORDINATE WITH OWNER'S REPRESENTATIVE FOR MORE INFORMATION.
 - M. REMOVE ALL EXISTING IT/TEL AND NETWORKING GEAR FROM THE BUILDING. COORDINATE DISPOSAL OF EQUIPMENT WITH OWNER'S REPRESENTATIVE.
 - N. REMOVE ALL EXISTING PLUMBING FIXTURES, TOILET PARTITIONS, COUNTERTOPS, RESTROOM ACCESSORIES, AND FINISHES. REMOVE ALL EXISTING CONDUITS BACK TO INCOMING SERVICE. COORDINATE WITH SHEETS D4.1 THROUGH D4.4.
 - O. DEMO PORTION OF EXISTING WALL TO ALLOW FOR NEW OPENING. PROVIDE TEMPORARY SUPPORT UNTIL NEW HEADER CAN BE INSTALLED.
 - P. EXISTING TIERED CONCRETE SUBFLOOR, RAMP, RISERS, AND STAIRS TO REMAIN. REMOVE ALL APPLIED FINISHES, TRIMS AND ALL ASSOCIATED MASTIC ADHESIVE FROM SURFACES. REMOVE EXISTING FIXED TABLES. COORDINATE WITH ABATEMENT SPECIFICATIONS FOR ANY REQUIRED ABATEMENT.
 - Q. REMOVE EXISTING TIERED WOOD RISERS AND THEIR ASSOCIATED STRUCTURE AND FINISHES.
 - R. EXISTING STAIR / RAMP AND ASSOCIATED HANDRAILS TO REMAIN. REMOVE ALL EXISTING FLOOR FINISHES AND FLOOR BASE AND ALL ASSOCIATED MASTIC ADHESIVES FROM SURFACES.
 - S. REMOVE AND DISPOSE EXISTING SURFACE APPLIED INSULATION FROM EXISTING WALLS TO REMAIN. COORDINATE WITH HAZARDOUS MATERIALS SPECIFICATIONS AS REQUIRED.
 - T. EXISTING PRECAST STONE WINDOW TRIM TO REMAIN AT JAMB, AND HEAD OF EXISTING WINDOW. SELECT DEMOLITION AT WINDOW PANEL TO ALLOW FOR DOOR IN NEXT PACKAGE. FIELD VERIFY EXISTING CONDITIONS AND SIZES.
 - U. EXISTING TIERED WOOD RISERS TO REMAIN. REMOVE ALL APPLIED FINISHES, TRIMS AND ASSOCIATED MASTIC ADHESIVES FROM SURFACES. REMOVE EXISTING FIXED DESKS AND DISPOSE. REMOVE THE TOP RISER AT REAR OF CASE / SEMINAR EX401. COORDINATE WITH SHEETS D4.1 THROUGH D4.4 FOR ANY ELECTRICAL NOTES.
 - V. (RESERVED)
 - W. (RESERVED)
 - X. EXISTING ROOF, ROOF DOWNSPOUTS, ROOF DRAINS, GUTTERS, AND ROOF MOUNTED EQUIPMENT TO REMAIN; PROTECT AND PRESERVE FOR THE DURATION OF CONSTRUCTION.
 - Y. EXISTING ATTIC MEZZANINE TO REMAIN. COORDINATE WITH SHEETS D4.1 THROUGH D4.4 FOR DEMOLITION OF MECHANICAL AND ELECTRICAL EQUIPMENT ON THAT MEZZANINE.
 - Z. EXISTING ATTIC MECHANICAL LOFT TO BE DEMOLISHED. REMOVE ALL RELATED EQUIPMENT, HANDRAILS, GUARDRAILS AND ALL RELATED LOFT STRUCTURAL ELEMENTS. COORDINATE WITH SHEETS D4.1 THROUGH D4.4.
 - AA. DEMO PORTION OF FLOOR FOR NEW STAIR / SHAFT / UTILITY PENETRATION.
 - BB. (RESERVED)
 - CC. SALVAGE FOR RE-USE EXISTING HALLWAY TIME GEAR. COORDINATE STORAGE WITH OWNERS REPRESENTATIVE.
 - DD. SALVAGE EXISTING COMMEMORATIVE PLAQUES AND/OR CASEWORK FOR RE-USE. COORDINATE STORAGE WITH OWNERS REPRESENTATIVE.
 - EE. REMOVE EXISTING GRILLE IN WALL.
 - FF. SALVAGE EXISTING FIRE EXTINGUISHER CABINET FOR RE-USE. STORE ON SITE UNTIL PACKAGE 3 IS RELEASED.
 - GG. REMOVE AND DISPOSE OF EXISTING HORIZONTAL SLIDING MARKERBOARD SET INTO EXISTING WALL TO REMAIN.
 - HH. COORDINATE DEMOLITION OF WALLS WITH DEMOLITION OF EXISTING CONCRETE MEZZANINE ABOVE.
 - II. REMOVE ALL APPLIED FINISHES FROM EXISTING WALLS TO REMAIN DOWN TO STRUCT WALL / SHEATHING. REMOVE ALL WALL PAPER, CERAMIC TILES, ACOUSTIC PANELS OR INSULATION, WOOD TRIM AND WAINSCOTS, CONDUITS AND J-BOXES BACK TO SOURCE, AND ANY ASSOCIATED HARDWARE OR MASTIC SEALANTS FROM SURFACE.
 - JJ. (RESERVED)
 - KK. REMOVE EXISTING RAMP ON GRADE AND ALL ASSOCIATED WALLS / STRUCTURE. REMOVE EXISTING INFILL BELOW SLAB AND PREPARE FOR NEW SLAB INFILL.
 - LL. (RESERVED)
 - MM. REMOVE EXISTING ATTIC SPRINKLER SYSTEM. COORDINATE WITH SHEETS D4.1 THROUGH D4.4.
 - NN. REMOVE EXISTING MOVEABLE PANEL WALL AND TRACK AND ASSOCIATED STRUCTURE.
 - OO. CUT OPENING INTO EXISTING LIMESTONE PORTION OF WALL FOR NEW WINDOW. VERIFY SIZE OF WINDOW PRIOR TO CUTTING OPENING. PROTECT LIMESTONE JAMB ON EXTERIOR SIDE OF WINDOW OPENING. SUPPORT EXISTING LIMESTONE ABOVE HEAD AS REQUIRED UNTIL NEEDED STRUCTURAL LINTEL AND WINDOW CAN BE INSTALLED.
 - PP. REMOVE AND SALVAGE STONE PANELS AT WINDOW OPENING FOR INSTALLATION OF CONSTRUCTION SCAFFOLDING. REMOVE BLOCK BEHIND STONE PANELS AS DIRECTED BY THE CMGC.

COMMUNITY TECTONICS ARCHITECTS

7610 Casson Road
Knoxville, TN 37919
Ph: (615) 537-9800
www.communitytectonics.com

Unland Design Group

150 Construction Drive
Lynchburg, TN 37531
Ph: (615) 447-7411
www.unlanddesigngroup.com

W&O Construction

150 Construction Drive
Lynchburg, TN 37531
Ph: (615) 471-1000
www.wco.com

PROJECT: JOHNSON HALL ABATEMENT & DEMOLITION - PKG 2
JOHNSON HALL RENOVATION & FOSTER DEMOLITION
SBC NO. 364/0111-04-2022CM

OWNER: TENNESSEE TECH. UNIVERSITY
LOCATION: COOKEVILLE, TN

NO.	DATE	DESCRIPTION
1	12-02-24	Additional 1 - PKG 2

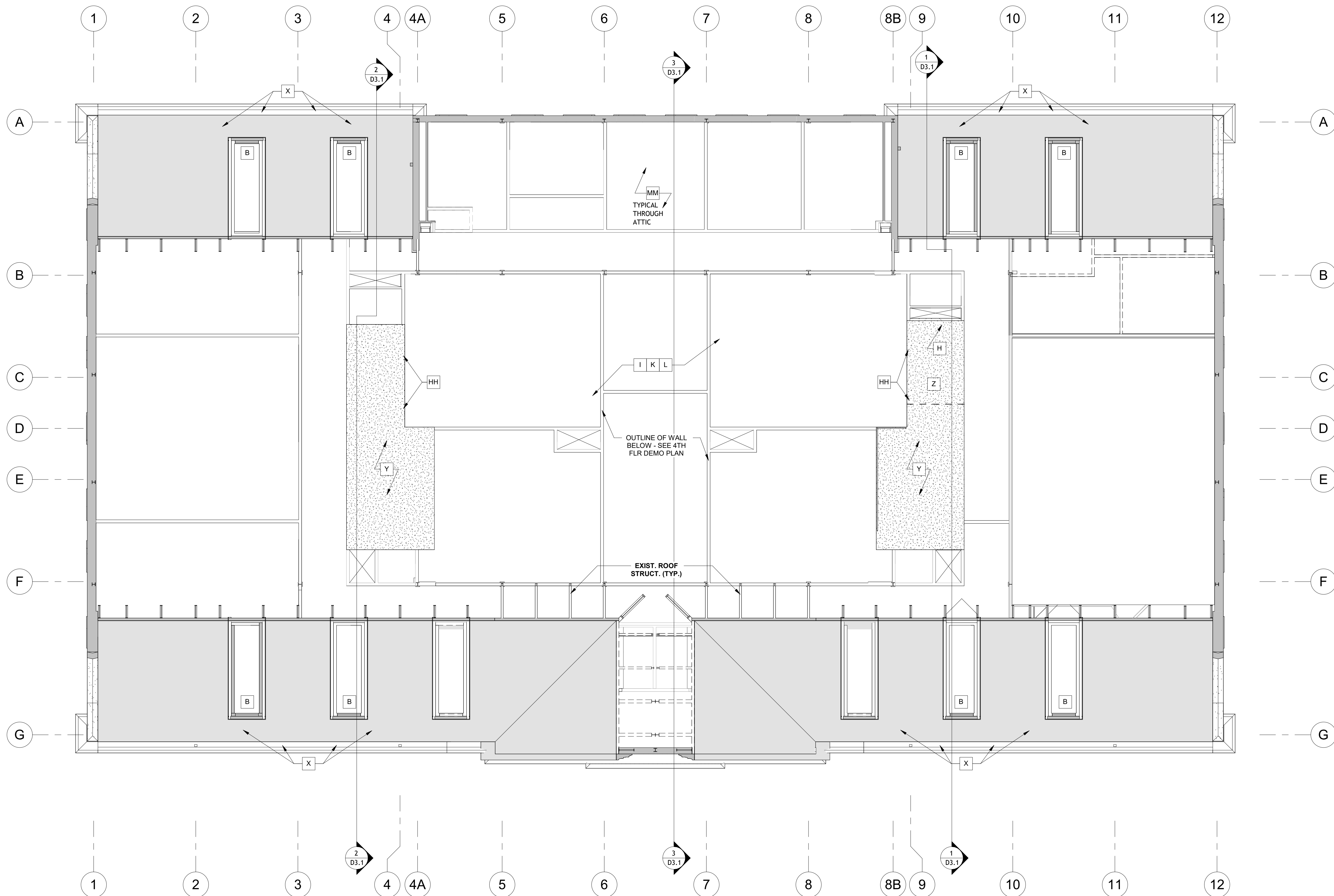
JOB NO. 22025

ISSUE DATE: 11-20-24

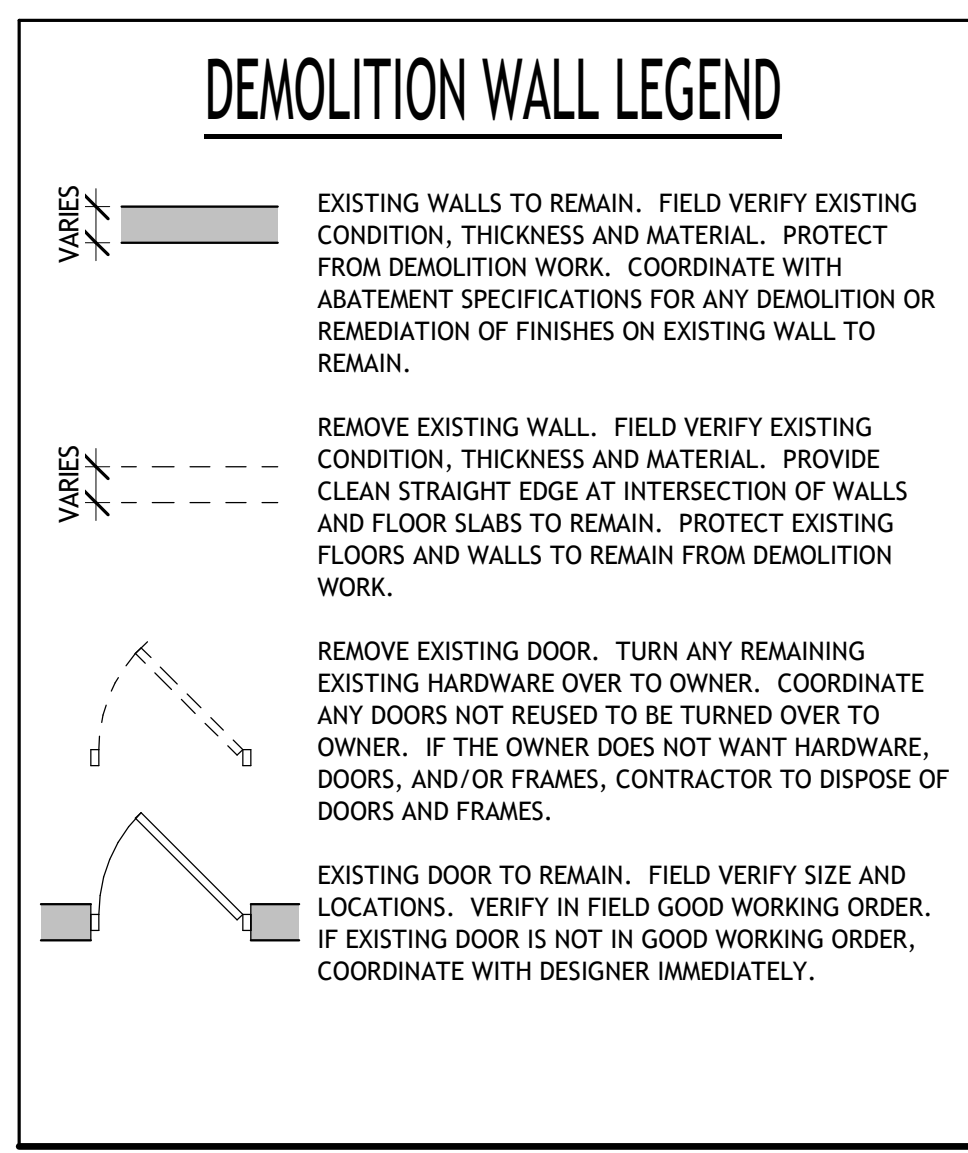
SHEET TITLE: DEMOLITION PLAN - FOURTH FLOOR PKG 2

DRAWN: CWD
REVIEW: KAC

D1.4



ATTIC DEMOLITION PLAN
 1/8" = 1'-0"
 1 PLAN NORTH TRUE NORTH



- DEMOLITION GENERAL NOTES - PACKAGE 2**
- FIELD VERIFY EXISTING CONDITIONS, MEASUREMENTS, AND LAYOUTS. CONTACT DESIGNER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
 - RESERVED
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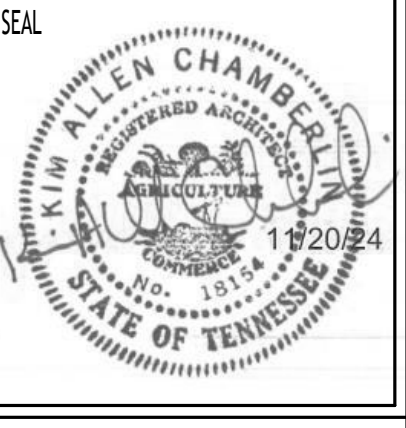
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 - K. REMOVE ALL EXISTING STEAM, CHILLED, AND HOT WATER PIPING BACK TO MAIN BRANCH PIPING TO EXISTING INCOMING SERVICE(S). REMOVE ALL RELATED HANGERS, VENT PIPING, AND DRAINAGE LINES. REMOVE AND DISPOSE OF EXISTING STEAM PRESSURE REDUCING STATION. COORDINATE WITH SHEETS D4.1 THROUGH D4.4 AND HAZARDOUS MATERIAL SPECIFICATIONS.
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 - M. REMOVE ALL EXISTING ITTEL AND NETWORKING GEAR FROM THE BUILDING. COORDINATE DISPOSAL OF EQUIPMENT WITH OWNER'S REPRESENTATIVE.
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 - P. EXISTING TIERED CONCRETE SUBFLOOR, RAMP, RISERS, AND STAIRS TO REMAIN. REMOVE ALL APPLIED FINISHES, TRIMS AND ALL ASSOCIATED MASTIC ADHESIVE FROM SURFACES. REMOVE EXISTING FIXED TABLES. COORDINATE WITH ABATEMENT SPECIFICATIONS FOR ANY REQUIRED ABATEMENT.
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 - T. EXISTING PRECAST STONE WINDOW TRIM TO REMAIN AT JAMB, AND HEAD OF EXISTING WINDOWS. SELECT DEMOLITION AT WINDOW PANEL TO ALLOW FOR DOOR IN NEXT PACKAGE. FIELD VERIFY EXISTING CONDITIONS AND SIZES.
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 - PP. REMOVE AND SALVAGE STONE PANELS AT WINDOW OPENING FOR INSTALLATION OF CONSTRUCTION SCAFFOLDING. REMOVE BLOCK BEHIND STONE PANELS AS DIRECTED BY THE CMGC.

COMMUNITY TECTONICS ARCHITECTS
 Knoxville, TN 37919
 760 Casson Road
 Ph: (863) 537-0900
 www.communitytectonics.com

Upland Design Group
 Cookeville, TN 38507
 P.O. Box 1026
 Ph: (615) 442-7411
 www.uplanddesigngroup.com

W&O Construction
 Livingston, TN 38501
 150 Construction Drive
 Ph: (615) 421-1000
 www.wco.com

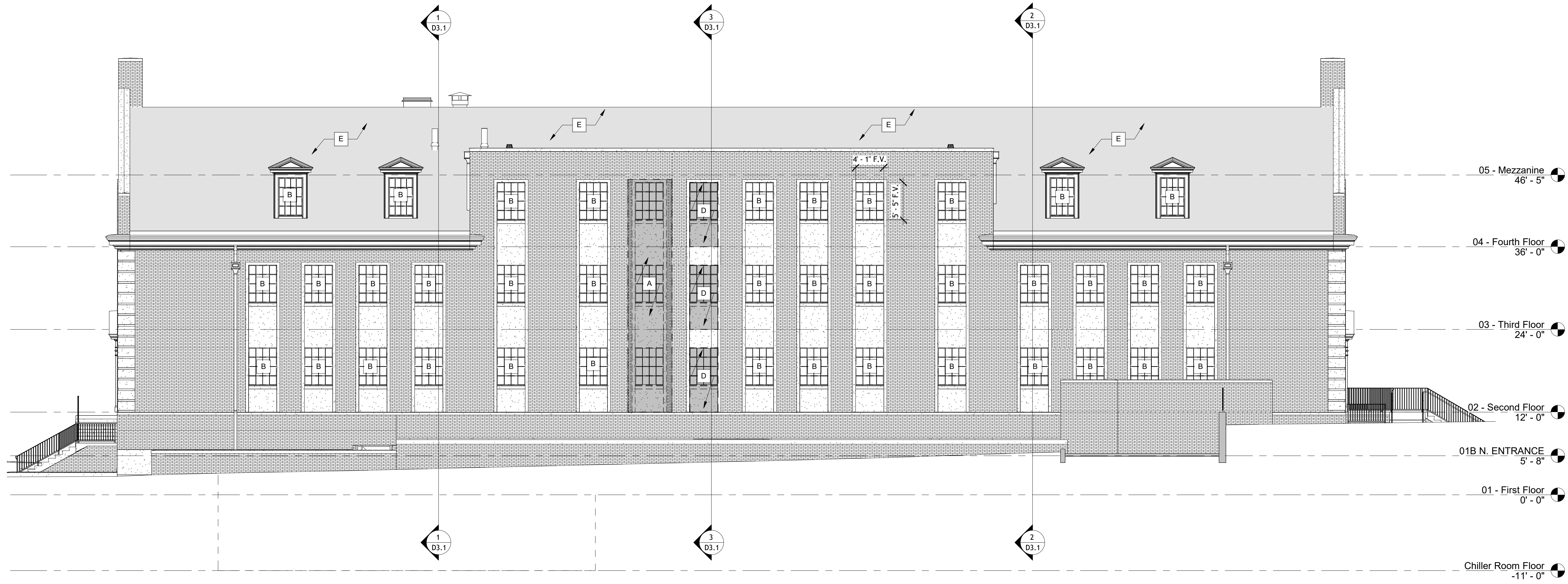
JOHNSON HALL ABATEMENT & DEMOLITION - PKG 2
JOHNSON HALL RENOVATION & FOSTER DEMOLITION
 SBC No 364/011-04-2022CM
 PROJECT LOCATION
 TENNESSEE TECH. UNIVERSITY COOKEVILLE, TN



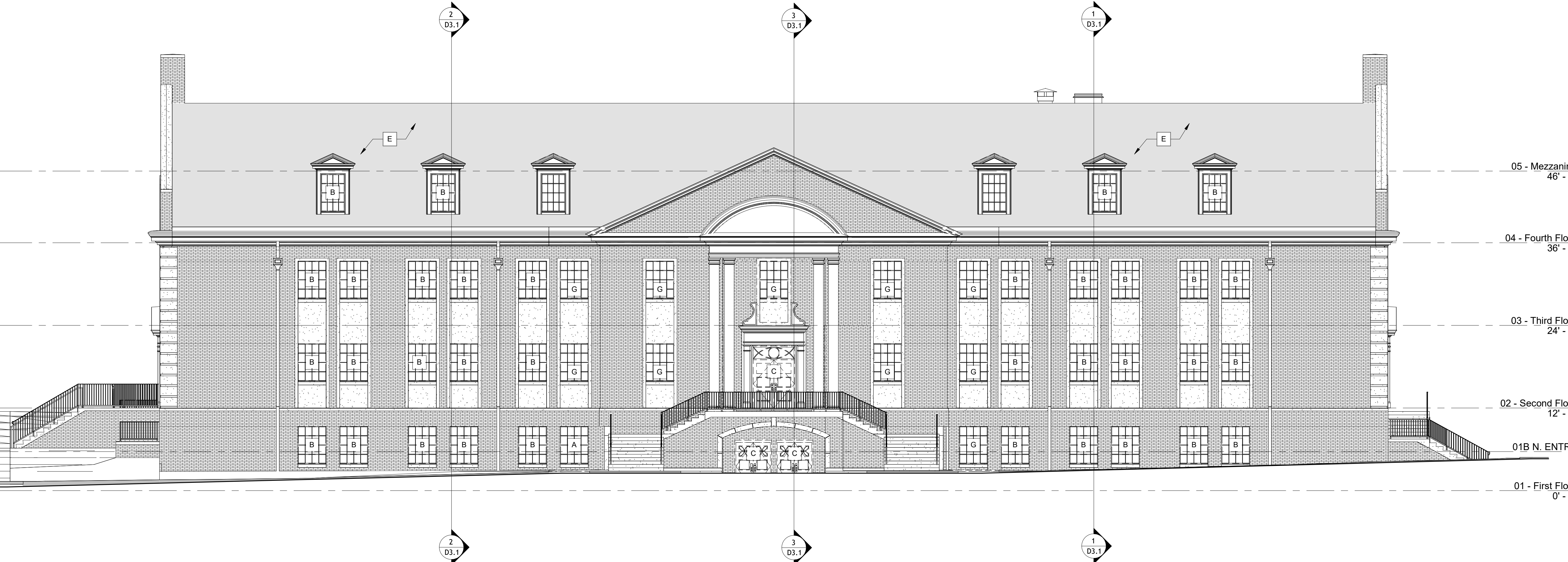
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DATE	DESCRIPTION

JOB NO.	22025
ISSUE DATE	11-20-24
SHEET TITLE	DEMOLITION PLAN - ATTIC PKG 2
DRAWN	CWD
REVIEW	KAC
	D1.5



PLAN NORTH ELEV. DEMO. ①
1/8" = 1'-0"



PLAN SOUTH ELEV. DEMO. ②
1/8" = 1'-0"

DEMOLITION GENERAL NOTES - PACKAGE 2

1. FIELD VERIFY EXISTING CONDITIONS, MEASUREMENTS, AND LAYOUTS. CONTACT DESIGNER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
2. RESERVED
3. COORDINATE WITH ABATEMENT SPECIFICATIONS FOR ADDITIONAL DEMOLITION INFORMATION AND SCOPE.
4. REMOVE EXISTING CEILING TILE AND GRIDS THROUGHOUT THE BUILDING. COORDINATE WITH ABATEMENT SPECIFICATIONS AND FIELD VERIFY LOCATIONS, CONDITIONS, AND HEIGHTS.
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6. CONTRACTOR TO REMOVE ANY REMAINING EXISTING TOILET DISPENSERS, SANITARY NAPKIN DISPOSAL, PAPER TOWEL DISPENSERS AND SOAP DISPENSERS. REMOVE ANY REMAINING EXISTING TOILET PARTITIONS.
7. REMOVE EXISTING TACK BOARD, MARKER BOARDS, OR CHALKBOARDS. SALVAGE AND TURN OVER TO OWNER FOR RE-USE AND/OR STORAGE. CONTRACTOR TO DISPOSE OF ANY UNWANTED TACKBOARDS, MARKERBOARDS, OR CHALKBOARDS.
8. REMOVE EXISTING FLOOR FINISHES THROUGHOUT THE BUILDING UNLESS NOTED TO REMAIN. COORDINATE WITH ABATEMENT SPECIFICATIONS AND DEMOLITION FLOOR PLANS.
9. REMOVE EXISTING DOOR HARDWARE AND TURN OVER TO OWNER. IF OWNER DOES NOT WANT EXISTING HARDWARE, CONTRACTOR TO DISPOSE OF THEM PROPERLY.
10. REMOVE EXISTING APPLIED SOUND INSULATION THROUGHOUT THE BUILDING'S EXISTING STRUCTURAL CONCRETE DECKS AND BEAMS. COORDINATE WITH EXISTING CONDITIONS AND HAZARDOUS MATERIAL REPORTS. REMOVAL OF EXISTING APPLIED SOUND INSULATION SHOULD LEAVE THE EXISTING EXPOSED SURFACE READY TO BE PREPARED TO RECEIVE NEW FINISHES.
11. OWNER HAS MARKED SOME BREAKER, OTHER ELECTRICAL EQUIPMENT, AND ELEVATOR EQUIPMENT THEY WANT SALVAGED AND TURNED OVER TO THEM. COORDINATE WITH OWNER'S REPRESENTATIVE FOR MORE INFORMATION.
12. REMOVE TREES WITHIN THE CONSTRUCTION FENCED AREA AS REQUIRED FOR DEMOLITION OF THE WINDOWS AND OTHER DEMOLITION ACTIVITIES ASSOCIATED WITH PACKAGE 2.

DEMOLITION KEY NOTES - ELEVATIONS - PACKAGE 2

- A. REMOVE EXISTING WINDOW, WINDOW FRAME AND GLAZING. REMOVE AND DISPOSE OF ALL ASSOCIATED WINDOW TRIMS, HARDWARE, PRE-CAST STONE HEADS, SILLS, JAMBS, AND WINDOW PANELING.
- B. REMOVE EXISTING METAL FRAMED WINDOW & ASSOCIATED GLAZING, HARDWARE, SEALANT AND RELATED JAMB TRIM. PREP ROUGH OPENING FOR NEW WINDOW. COORDINATE REMOVAL WITH EXISTING CONDITION ON ABATEMENT.
- C. REMOVE EXISTING EXTERIOR DOOR AND ASSOCIATED FLASHING AND/OR WATERPROOFING. REMOVE AND DISPOSE EXISTING DOOR/TRANSOM AND ALL ASSOCIATED HARDWARE.
- D. EXISTING PRECAST STONE WINDOW TRIM TO REMAIN AT JAMB, AND HEAD OF EXISTING WINDOWS. SELECT DEMOLITION AT WINDOW PANEL TO ALLOW FOR NEW DOOR.
- E. EXISTING ROOF, ROOF DOWNSPOUTS, ROOF DRAINS, GUTTERS, AND ROOF MOUNTED EQUIPMENT TO REMAIN; PROTECT AND PRESERVE FOR THE DURATION OF CONSTRUCTION.
- F. CUT OPENING INTO EXISTING LIMESTONE PORTION OF WALL FOR NEW WINDOW. VERIFY SIZE OF WINDOW PRIOR TO CUTTING OPENING. PROTECT LIMESTONE JAMB ON EXTERIOR SIDE OF WINDOW OPENING. SUPPORT EXISTING LIMESTONE ABOVE HEAD AS REQUIRED UNTIL NEEDED STRUCTURAL LINTEL AND WINDOW CAN BE INSTALLED IN PACKAGE 3.
- G. REMOVE EXISTING METAL FRAMED WINDOW & ASSOCIATED GLAZING, HARDWARE, SEALANT AND RELATED JAMB TRIM. PREP ROUGH OPENING FOR NEW WINDOW INFILL. COORDINATE REMOVAL WITH EXISTING CONDITION ON ABATEMENT.
- H. REMOVE AND SALVAGE STONE PANELS AT WINDOW OPENING FOR INSTALLATION OF CONSTRUCTION SCAFFOLDING. REMOVE BLOCK BEHIND STONE PANELS AS DIRECTED BY THE CMGC.

COMMUNITY TECTONICS ARCHITECTS
KNOXVILLE, TN 37919
7610 Casson Road
Ph: (865) 537-0900
www.communitytectonics.com

Upland Design Group
KNOXVILLE, TN 37919
P.O. Box 1026
Ph: (615) 742-7411
www.uplanddesigngroup.com

W&O Construction
KNOXVILLE, TN 37919
150 Construction Drive
Ph: (615) 473-1000
www.waco.com

PROJECT
JOHNSON HALL ABATEMENT & DEMOLITION - PKG 2
JOHNSON HALL RENOVATION & FOSTER DEMOLITION
SBC NO 364/011-04-2022CM

LOCATION
TENNESSEE TECH. UNIVERSITY
COOKEVILLE, TN

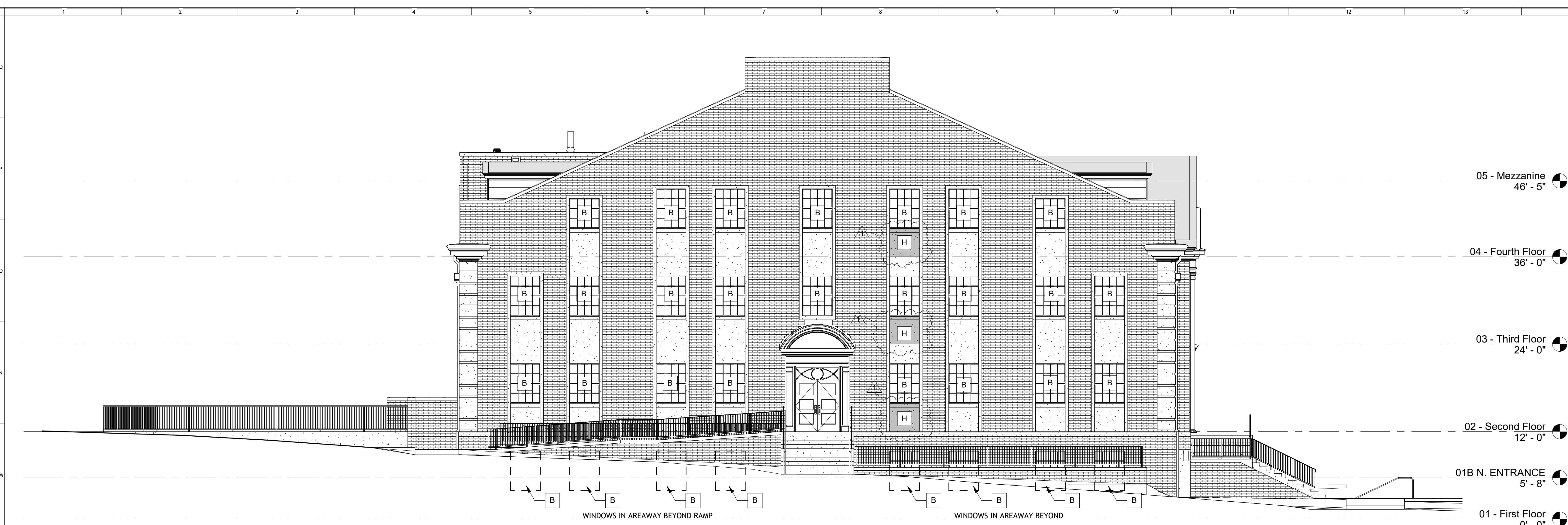


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NO.	DATE	DESCRIPTION

JOB NO.	22025
ISSUE DATE	11-20-24
SHEET TITLE	EXISTING ELEVATIONS - DEMOLITION PKG 2

DRAWN	CWD
REVIEW	KAC
SCALE	D2.1



PLAN WEST ELEV. DEMO. ①
1/8" = 1'-0"



PLAN EAST ELEV. DEMO. ②
1/8" = 1'-0"

DEMOLITION GENERAL NOTES - PACKAGE 2

1. FIELD VERIFY EXISTING CONDITIONS, MEASUREMENTS, AND LAYOUTS. CONTACT DESIGNER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
2. RESERVED
3. COORDINATE WITH ABATEMENT SPECIFICATIONS FOR ADDITIONAL DEMOLITION INFORMATION AND SCOPE.
4. REMOVE EXISTING CEILING TILE AND GRIDS THROUGHOUT THE BUILDING. COORDINATE WITH ABATEMENT SPECIFICATIONS AND FIELD VERIFY LOCATIONS, CONDITIONS, AND HEIGHTS.
5. REMOVE REMAINING EXISTING CLOCKS THROUGHOUT BUILDING AND TURN OVER TO OWNER. IF OWNER DOES NOT WANT EXISTING CLOCKS, CONTRACTOR TO DISPOSE OF THEM PROPERLY.
6. CONTRACTOR TO REMOVE ANY REMAINING EXISTING TOILET DISPENSERS, SANITARY NAPKIN DISPOSAL, PAPER TOWEL DISPENSERS AND SOAP DISPENSERS. REMOVE ANY REMAINING EXISTING TOILET PARTITIONS.
7. REMOVE EXISTING TACK BOARD, MARKER BOARDS, OR CHALKBOARDS. SALVAGE AND TURN OVER TO OWNER FOR RE-USE AND/OR STORAGE. CONTRACTOR TO DISPOSE OF ANY UNWANTED TACKBOARDS, MARKERBOARDS, OR CHALKBOARDS.
8. REMOVE EXISTING FLOOR FINISHES THROUGHOUT THE BUILDING UNLESS NOTED TO REMAIN. COORDINATE WITH ABATEMENT SPECIFICATIONS AND DEMOLITION FLOOR PLANS.
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10. REMOVE EXISTING APPLIED SOUND INSULATION THROUGHOUT THE BUILDING'S EXISTING STRUCTURAL CONCRETE DECKS AND BEAMS. COORDINATE WITH EXISTING CONDITIONS AND HAZARDOUS MATERIAL REPORTS. REMOVAL OF EXISTING APPLIED SOUND INSULATION SHOULD LEAVE THE EXISTING EXPOSED SURFACE READY TO BE PREPPED TO RECEIVE NEW FINISHES.
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DEMOLITION KEY NOTES - ELEVATIONS - PACKAGE 2

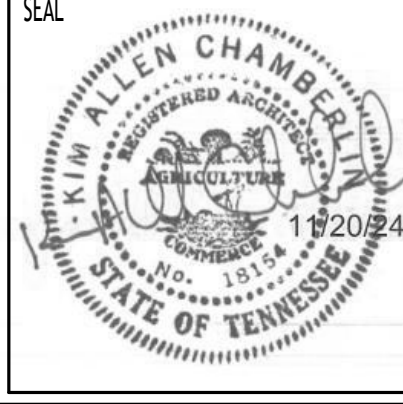
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- B. REMOVE EXISTING METAL FRAMED WINDOW & ASSOCIATED GLAZING, HARDWARE, SEALANT AND RELATED JAMB TRIM. PREP ROUGH OPENING FOR NEW WINDOW. COORDINATE REMOVAL WITH EXISTING CONDITION ON ABATEMENT.
- C. REMOVE EXISTING EXTERIOR DOOR AND ASSOCIATED FLASHING AND/OR WATERPROOFING. REMOVE AND DISPOSE EXISTING DOORTRANSOM AND ALL ASSOCIATED HARDWARE.
- D. EXISTING PRECAST STONE WINDOW TRIM TO REMAIN AT JAMB, AND HEAD OF EXISTING WINDOWS. SELECT DEMOLITION AT WINDOW PANEL TO ALLOW FOR NEW DOOR.
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- F. CUT OPENING INTO EXISTING LIMESTONE PORTION OF WALL FOR NEW WINDOW. VERIFY SIZE OF WINDOW PRIOR TO CUTTING OPENING. PROTECT LIMESTONE JAMB ON EXTERIOR SIDE OF WINDOW OPENING. SUPPORT EXISTING LIMESTONE ABOVE HEAD AS REQUIRED UNTIL MENDED STRUCTURAL LATCH AND WINDOW CAN BE INSTALLED IN PACKAGE 3.
- G. REMOVE EXISTING METAL FRAMED WINDOW & ASSOCIATED GLAZING, HARDWARE, SEALANT AND RELATED JAMB TRIM. PREP ROUGH OPENING FOR NEW WINDOW INFILL. COORDINATE REMOVAL WITH EXISTING CONDITION ON ABATEMENT.
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COMMUNITY TECTONICS ARCHITECTS
KNOXVILLE, TN 37919
7610 Casson Road
Ph: (865) 537-0900
www.communitytectonics.com

Upland Design Group
KNOXVILLE, TN 37937
P.O. Box 1026
Ph: (615) 447-7411
www.uplanddesigngroup.com

W&O Construction
LIVINGSTON, TN 38329
150 Construction Drive
Ph: (615) 421-1000
www.wco.com

PROJECT: JOHNSON HALL ABATEMENT & DEMOLITION - PKG 2
JOHNSON HALL RENOVATION & FOSTER DEMOLITION
SBC NO 364/011-04-2022CM
LOCATION: TENNESSEE TECH. UNIVERSITY
COOKEVILLE, TN



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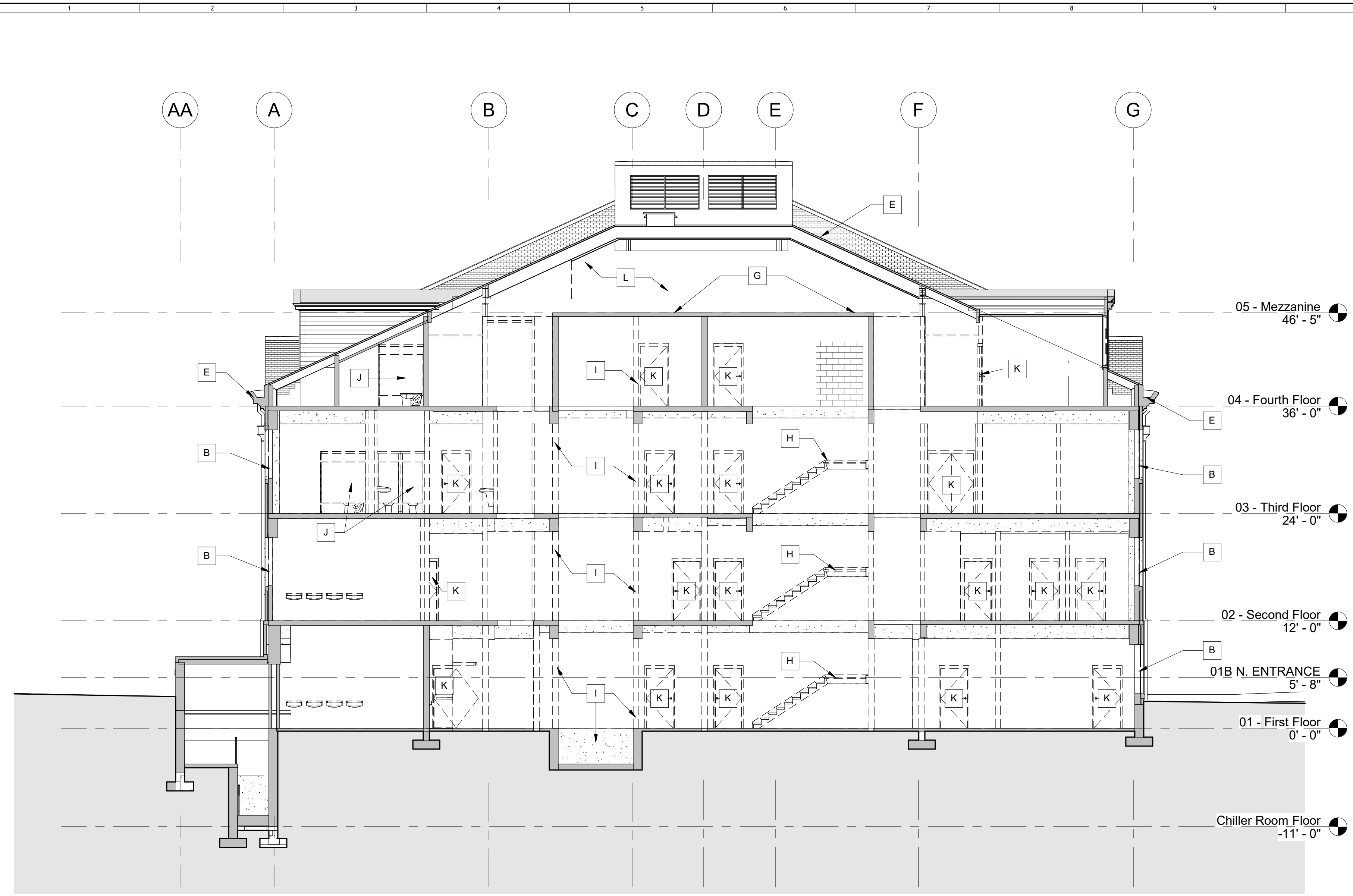
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JOB NO. 22025

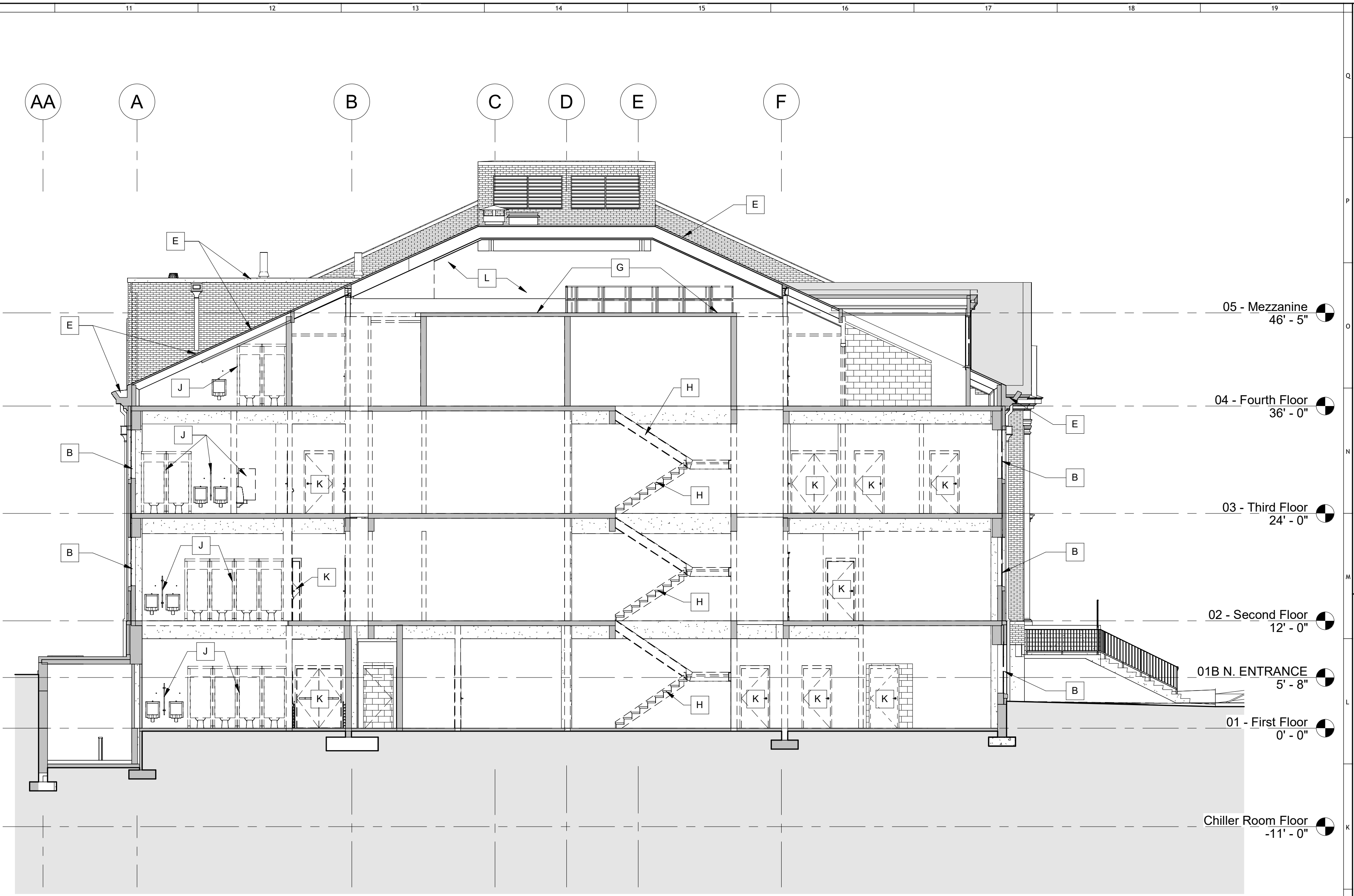
ISSUE DATE 11-20-24

SHEET TITLE
EXISTING ELEVATIONS - DEMOLITION PKG 2

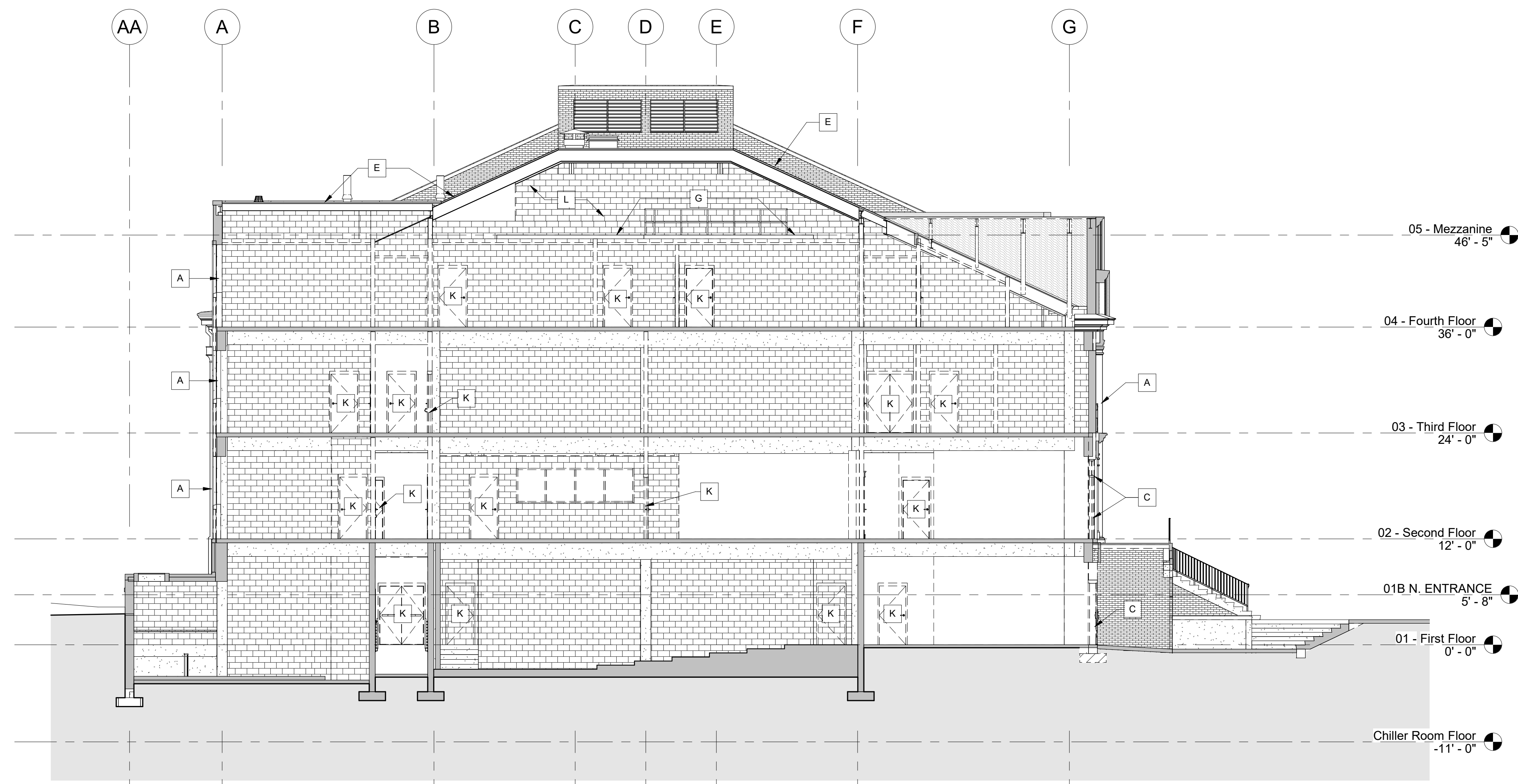
DRAWN CWD
REVIEW KAC
D2.2



BUILDING SECTION - DEMO 1
1/8" = 1'-0"



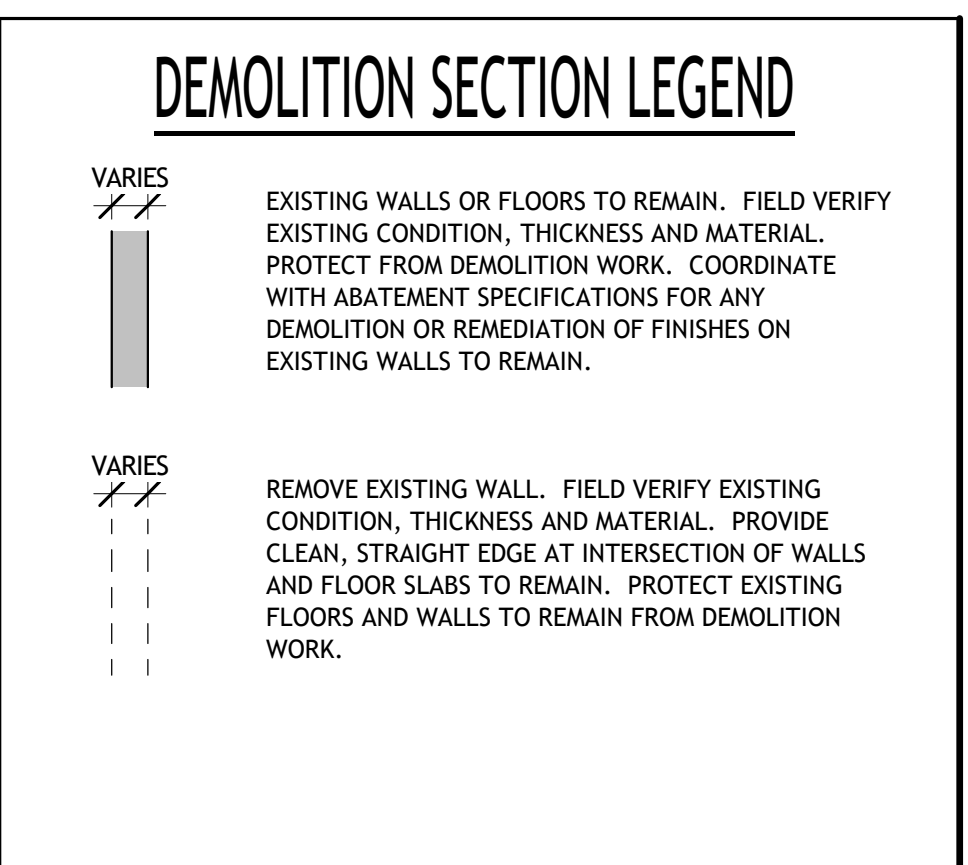
BUILDING SECTION - DEMO 2
1/8" = 1'-0"



BUILDING SECTION - DEMO 3
1/8" = 1'-0"

- DEMOLITION KEY NOTES - SECTIONS - PACKAGE 2**
- A. REMOVE EXISTING WINDOW, WINDOW FRAME AND GLAZING. REMOVE AND DISPOSE OF ALL ASSOCIATED WINDOW TRIMS, HARDWARE, PRE-CAST STONE HEADS, SILLS, JAMBS, AND WINDOW PANELING FOR INSTALLATION OF NEW DOOR IN EXISTING OPENING.
 - B. REMOVE EXISTING METAL FRAMED WINDOW & ASSOCIATED GLAZING, HARDWARE, SEALANT AND RELATED JAMB TRIM. PREP ROUGH OPENING FOR NEW WINDOW. COORDINATE REMOVAL WITH EXISTING CONDITION ON ABATEMENT.
 - C. REMOVE EXISTING EXTERIOR DOOR AND ASSOCIATED FLASHING AND/OR WATERPROOFING. REMOVE AND DISPOSE EXISTING DOOR/TRANSOM AND ALL ASSOCIATED HARDWARE.
 - D. EXISTING PRECAST STONE WINDOW TRIM TO REMAIN AT JAMB, AND HEAD OF EXISTING WINDOWS. SELECT DEMOLITION AT WINDOW PANEL TO ALLOW FOR NEW DOOR. COORDINATE DEMOLITION WITH PROPOSED DRAWINGS.
 - E. EXISTING ROOF, ROOF DOWNSPOUTS, ROOF DRAINS, GUTTERS, AND ROOF MOUNTED EQUIPMENT TO REMAIN. PROTECT AND PRESERVE FOR THE DURATION OF CONSTRUCTION.
 - F. REMOVE EXISTING METAL FRAMED WINDOW & ASSOCIATED GLAZING, HARDWARE, SEALANT AND RELATED JAMB TRIM. PREP ROUGH OPENING FOR NEW WINDOW INFILL. COORDINATE REMOVAL WITH EXISTING CONDITION ON ABATEMENT
 - G. EXISTING ATTIC MEZZANINE TO REMAIN
 - H. REMOVE EXISTING CONCRETE AND METAL PAN STAIR AND ALL RELATED HANDRAILS, GUARDRAILS, AND STRUCTURAL ATTACHMENTS. COORDINATE WITH STRUCTURAL FOR ANY TEMPORARY SHORING AND PREP OF NEW FLOOR IN FILL WORK.
 - I. REMOVE EXISTING HYDRAULIC ELEVATOR IN ITS ENTIRETY. REMOVE ALL RELATED EQUIPMENT AND ELECTRICAL / HYDRAULIC LINES BACK TO MAIN BRANCH. ELEVATOR PIT STRUCTURE TO REMAIN. PREP ELEVATOR PIT FOR CAPPING AND INFILL. COORDINATE WITH PROPOSED WORK AND CHECK EXISTING CONDITIONS REPORT FOR ABATEMENT. COORDINATE REMOVAL OF EQUIPMENT WITH OWNERS REPRESENTATIVE FOR SALVAGE OF HYDRAULIC CONTROLS. COORDINATE WITH MECHANICAL, PLUMBING, AND ELECTRICAL DEMOLITION DRAWINGS.
 - J. REMOVE EXISTING TOILET PARTITIONS.
 - K. REMOVE EXISTING DOOR. TURN EXISTING HARDWARE OVER TO OWNER. COORDINATE ANY DOORS NOT REUSED TO BE TURNED OVER TO OWNER. IF THE OWNER DOES NOT WANT HARDWARE, DOORS, AND/OR FRAMES, CONTRACTOR TO DISPOSE OF DOORS AND FRAMES.
 - L. REMOVE EXISTING ATTIC SPRINKLER SYSTEM. COORDINATE WITH PLUMBING AND FIRE PROTECTION DEMOLITION DRAWINGS.

- DEMOLITION GENERAL NOTES - PACKAGE 2**
1. FIELD VERIFY EXISTING CONDITIONS, MEASUREMENTS, AND LAYOUTS. CONTACT DESIGNER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
 2. RESERVED
 3. COORDINATE WITH ABATEMENT SPECIFICATIONS FOR ADDITIONAL DEMOLITION INFORMATION AND SCOPE.
 4. REMOVE EXISTING CEILING TILE AND GRIDS THROUGHOUT THE BUILDING. COORDINATE WITH ABATEMENT SPECIFICATIONS AND FIELD VERIFY LOCATIONS, CONDITIONS, AND HEIGHTS.
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COMMUNITY TECTONICS ARCHITECTS
KNOXVILLE, TN 37919
7610 Casson Road
Ph: (865) 537-0900
www.communitytectonics.com

Upland Design Group
KNOXVILLE, TN 37919
P.O. Box 1026
Ph: (615) 442-7411
www.uplanddesigngroup.com

W&O Construction
LIVINGSTON, TN 38570
150 Construction Drive
Ph: (615) 423-1000
www.wco.com

JOHNSON HALL RENOVATION & DEMOLITION - PKG 2
JOHNSON HALL RENOVATION & FOSTER DEMOLITION
SBC NO 364/011-04-2022C
LOCATION: COOKEVILLE, TN

OWNER: TENNESSEE TECH. UNIVERSITY

SCALE: AS SHOWN

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NO.	DATE	DESCRIPTION

JOB NO. **22025**

ISSUE DATE: 11-20-24

SHEET TITLE: BUILDING SECTIONS - DEMOLITION PKG 2

DRAWN: CWD
REVIEW: KAC

D3.1